

**AGENDA**  
**MAPLE GROVE CITY COUNCIL**  
**APRIL 19, 2021**  
**7:30 P.M.**

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AGENDA  
MAPLE GROVE CITY COUNCIL  
APRIL 19, 2021  
7:30 P.M.

1. OPENING BUSINESS

A. Call to Order

2. ADDITIONS OR DELETIONS TO AGENDA

Any Councilmember who wishes to delete item(s) from the Consent Agenda or add item(s) to the agenda shall move that at this time.

3. CONSENT ITEMS – All matters listed under Consent Items are considered to be routine by the City Council and will be enacted by one motion and in the form listed below. There may be an explanation, but no separate discussion on these items. If discussion is desired, that item will be removed from the Consent Items and will be considered separately.

MINUTES

A. Regular Meeting – April 5, 2021

3. CONSENT ITEMS – CONTINUED

PERSONNEL ITEMS

B. Mechanic Appointment

Motion to approve the appointment of Seth Helleck to the position of Mechanic in the Public Works Department, at an annual salary of \$70,314.40, effective on April 20, 2021 subject to a 12-month probationary period. All required screenings and background checks have been successfully completed.

C. Approval of Consulting Agreement for with Herreid & Associates Consulting, Inc.

Authorize the City Administrator to execute a consulting agreement with Herreid & Associates Consulting, Inc. to provide organizational assessment and development services.

D. Ratify Updates to Interim Policy 2021-02: Temporary COVID Program for Employees

Motion to ratify the updates to Interim Policy 2021-02: Temporary COVID Program for Employees.

COMMUNITY AND ECONOMIC DEVELOPMENT ITEMS

E. Evanswood PUD Concept Stage Plan

Motion to table the Evanswood Concept Plan PUD so that the applicant can address concerns raised by the City Council.

F. Palisades at Nottingham 3rd Addition Planned Unit Development Residential Concept Stage Plan, Development Stage Plan and Rezoning - Ordinance No. 21-07 and Resolution No. 21-044

Motion to adopt Ordinance No. 21-07 rezoning property from R-A, Single Family Agricultural to PUD Planned Unit Development subject to the approval of the final plat.

Motion to adopt Resolution No. 21-044 approving the Palisades at Nottingham 3rd Addition PUD concept stage plan and development stage plan subject to:

1. Planned Unit Development agreement final review and approval of the City Attorney and the Director of Community & Economic Development.

G. The Grove 15715 Grove Circle Planned Unit Development Non-Residential Development Stage Plan - Resolution No. 21-045

Motion to adopt the Resolution No. 21-045 approving The Grove 15715 Grove Circle PUD development stage plan subject to:

1. Planned Unit Development agreement final review and approval of the City Attorney and the Director of Community & Economic Development.

H. The Ridge at Elm Creek 3rd Addition Final Plat - Resolution No. 21-043

Motion to adopt Resolution No. 21-043 approving The Ridge at Elm Creek 3rd Addition final plat.

3. CONSENT ITEMS – CONTINUED

ENGINEERING ITEMS

- I. Avery Park Street & Utility Project No. 21-06 Award of Contract - Resolution No. 21-046  
Motion to adopt Resolution No. 21-046 accepting bid for Avery Park Street and Utility Project No. 21-06.
- J. Palisades at Nottingham 3rd Addn. Project No. 21-09 Establishing Project - Resolution No. 21-047  
Motion to adopt Resolution No. 21-047 establishing Palisades at Nottingham 3rd Addition Project No. 21-09, receiving surety, ordering feasibility report, receiving feasibility report, and ordering public hearing.
- K. Rice Lake Ski Slalom Course  
Motion to approve the 2021 permit for the Maple Grove Waterski Club for a ski slalom course on Rice Lake.
- L. Special Assessment Cancellation - Resolution No. 21-048  
Motion to adopt Resolution No. 21-048 cancelling special assessments as a result of Levy No. 20425.
- M. Sureties  
Motion to approve the surety actions as listed on Council Action Form.

ADMINISTRATIVE ITEMS

- N. Firehouse Subs Safety Foundation Thermal Imaging Camera Donation  
Motion to accept donation of five (5) MSA Evolution 6000 Thermal Imaging Cameras & Accessories valued at up to \$42,335.00.
- O. CLAIMS  
Motion to approve the claims as listed:  
City Checks: \$1,840,323.61  
Purchasing Card: \$18,087.62  
Electronic Payments: \$0

Motion by \_\_\_\_\_ seconded by \_\_\_\_\_ to  
approve, table or deny the Consent Items as presented.

4. CONSIDERATION OF ITEMS PULLED FROM THE AGENDA



5. SPECIAL BUSINESS

A. Open Forum

6. COMMUNITY AND ECONOMIC DEVELOPMENT ITEMS

A. Shake Shack Planned Unit Development Non-Residential Development Stage Plan Amendment

Motion by \_\_\_\_\_ seconded by \_\_\_\_\_ to approve, postpone, table or deny directing the City Attorney to draft a Planned Unit Development agreement and a Resolution approving the Shake Shack PUD non-residential development stage plan amendment, subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:
  - a. The Engineering Department dated February 24, 2021 and March 24, 2021
  - b. The Fire Department dated March 8, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

B. Report on Upcoming Community and Economic Development Items

7. KEN ASHFELD, DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

A. 610 Extension Project City Project No. 19-24 Final Design Services

Motion by \_\_\_\_\_ seconded by \_\_\_\_\_ to  
approve, postpone, table or deny accepting proposal from SRF Consulting Group, Inc. to provide  
final design services for the Highway 610 Extension project in the amount of \$2,202,739.

B. Report on Upcoming Engineering Items

8. HEIDI A. NELSON, CITY ADMINISTRATOR

A. Report on Upcoming Administrative Items

9. ITEMS ADDED TO THE AGENDA

10. ADJOURNMENT

Motion by \_\_\_\_\_ seconded by \_\_\_\_\_ to

adjourn to \_\_\_\_\_.

Meeting adjourned at \_\_\_\_\_.

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**AGENDA ITEM**

**Maple Grove City Council Meeting**

**DRAFT Meeting Minutes**

**April 5, 2021**

*DRAFT*

*(Delete this when final edits are complete)*

**Call to Order**

Pursuant to call and notice thereof, a Regular Meeting of the Maple Grove City Council was held at 7:30 p.m. on April 5, 2021 at the Maple Grove Government Center/Public Safety Facility, Hennepin County, Minnesota and online via WebEx. Members present were Mayor Mark Steffenson and Councilmembers Judy Hanson, Karen Jaeger, Phil Leith, and Kristy Barnett. Absent was none. Present also were Heidi Nelson, City Administrator; Joe Hogeboom, Community and Economic Development Director; , Jesse Corrow, Associate Planner, Ken Ashfeld, Public Works Director/City Engineer; Tim Bush, Fire Chief/Emergency Management Director; and Justin Templin, City Attorney.

Mayor Steffenson called the meeting to order at 7:30 p.m. and led the city in the Pledge of Allegiance.

**Additions or  
Deletions to  
the Agenda**

Mayor Steffenson asked if there were any additions and/or deletions to the Consent Agenda to which Heidi Nelson stated the following:

**Item Amended to the Agenda**

5F. 2021 Street Rehabilitation Program – Resolution No. 21-040

**Item Amended to the Consent Agenda**

3T. Agreement with CM Construction for Maple Grove Transit Station Improvements Project

**Item Added to the Agenda**

None

**Item Removed from the Consent Agenda for Discussion**

3P. 2021 Lake Improvement Program Cost-Sharing Expenditures

3S. Citizen Advisory Committee 2021 Workplan

**Consent Items**

The following Consent Items were presented for Council's approval:

**MINUTES**

A. Work Session – March 15, 2021

B. Regular Meeting – March 15, 2021

C. Work Session – March 25, 2021

**PERSONNEL ITEMS**

D. Recruitment Approval for Police Officer

Motion to authorize staff to begin the recruitment process for the vacant position of Police Officer, due to the resignation of Jake Uhl, which was accepted with an effective date of March 21, 2021.

E. Records Management Technician Appointment

Motion to approve the appointment of Julianna Hagert to the position of Records Management Technician in the Police Department, at an annual salary of \$48,948.64 (5C), effective on April 7, 2021 subject to a 12-month probationary period. All required screenings and background checks have been successfully completed.

F. Records Management Technician Appointment

Motion to approve the appointment of Kaylen Boeddeker to the position of Records Management Technician in the Police Department, at an annual salary of \$48,948.64 (5C), effective on April 6, 2021 subject to a 12-month probationary period. All required screenings and background checks have been

successfully completed.

G. Recruitment Approval for Police Sergeant

Motion to authorize staff to fill Police Sergeant position and subsequent positions in the Police Department due to the resignation of Matthew Olson effective March 25, 2021.

H. Police Sergeant Promotion

Motion to approve the promotion of Grant Smith to Sergeant, at an annual salary of \$96,449.60 (SGT/C), effective on April 6, 2021, subject to a 12-month probationary period.

**COMMUNITY & ECONOMIC DEVELOPMENT ITEMS**

I. The Ridge at Elm Creek 3rd Addition Final Plat

Motion to direct the City Attorney to draft a Resolution approving The Ridge at Elm Creek 3rd Addition final plat.

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

J. Boston Scientific Building 3 West Planned Unit Development Development Stage Plan Amendment - Resolution No. 21-038

Motion to adopt Resolution No. 21-038 approving the Boston Scientific Building 3 West Planned Unit Development (PUD) development stage plan amendment, subject to:

1. Planned Unit Development agreement final review and approval of the City Attorney and the Director of Community & Economic Development.

K. ProMed Planned Unit Development Non-Residential Concept Stage Plan, Development Stage Plan, and Final Plat Extension

Motion to extend the Rocky Mountains, LLC (ProMed) Planned Unit Development PUD non-residential concept stage plan, development stage plan, and final plat until April 19, 2022.

L. Structured Assistance Valuing Enterprises (SAVE) Grant Transfer of Funds - Resolution No. 21-042

Motion to adopt Resolution No. 21-042 authorizing the transfer of additional funds from the city's Revolving Loan Fund (RLF) to the Economic Development Authority's Structured Assistance Valuing Enterprises (SAVE) Grant program.

M. Reserve Arbor Lakes Building 4 Planned Unit Development - Development Stage Plan and Final Plat - Resolution No. 21-039

Motion to adopt Resolution No. 21-039 approving the Reserve Arbor Lakes Building 4 Planned Unit Development (PUD), development stage plan and final plat, subject to:

1. Planned Unit Development agreement final review and approval of the City Attorney and the Director of Community & Economic Development.

## **ENGINEERING ITEMS**

N. 99th Avenue Apartments Project No. 19-18 Final Acceptance

Motion to approve the final acceptance of The Grove 12th Addition (99th Avenue Apartments) Area Street and Utility Project No. 19-18 completed by Omann Brothers Paving, Inc. subject to the warranty provisions of the contract and statutory law.

O. Elm Road Area Phase II Everest Lane Streambank Stabilization City Project No. 20-08 Award of Contract - Resolution No. 21-041

Motion to adopt Resolution No. 21-041 accepting bid for the Elm Road Area Phase II Everest Lane Streambank Stabilization, City Project No. 20-08.

P. 2021 Lake Improvement Program Cost-Sharing Expenditures

This item was removed by Councilmember Jaeger for discussion.

Q. Quiet Zone Assessment Study

Motion to approve the proposal received by SRF Consulting Group, Inc. to provide professional services related to a Quiet Zone Assessment Study of the ten crossings (eight public and two private) from Brockton Lane to Jefferson Highway along the Burlington Northern Sante Fe Railway Company (BNSF) with the Cities of Dayton, Maple Grove, and Osseo.

R. Sureties

Motion to approve the surety actions as identified on Council Action Form.

**ADMINISTRATIVE ITEMS**

S. Citizen Advisory Committee 2021 Workplan

This item was removed by Councilmember Barnett for discussion.

T. Agreement with CM Construction for Maple Grove Transit Station Improvements Project

Motion to authorize the Mayor and City Administrator to enter into an agreement with CM Construction Company for the bid award for the Maple Grove Transit Station Improvements project for an amount not to exceed \$427,869.

U. HCSO Communication System Subscriber Agreement

Motion to authorize renewal of an updated HCSO Communication System Subscriber Agreement.

V. Maple Grove Days MGCO Fee Waiver Request

Motion to waive fees associated with the following permits –

Fire and Electrical Inspection fees related to the Special Event Permit for the Maple Grove Community Organization for events held during the 2021 Maple Grove Days Celebration July 14-18, 2021.

W. Farniok Property Quit Claim Deed

Motion to approve the conveyance of a quit claim deed for that portion of Lot 4 to the Farniok Trust.

**CLAIMS**

X. Motion to approve the claims as listed:

City Checks: \$1,586,332.30

Purchasing Card: \$29,482.34

Electronic Payments: \$5,590.27

**Motion by Councilmember Leith, seconded by Councilmember Barnett, to approve the Consent Items as amended, removing item 3P (2021 Lake Improvement Program Cost-Sharing Expenditures) and 3S (Citizen Advisory Committee 2021 Workplan). Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

**Consideration  
of Items  
Pulled from  
the Agenda**

The following items were pulled from the Consent Agenda.

Regarding Item 3P (2021 Lake Improvement Program Cost-Sharing Expenditures), Councilmember Jaeger reviewed the cost sharing expenditures that were being approved for 23 different projects for the Lake Improvement Program. She explained this expenditure was within the city's 2021 budget.

**Motion by Councilmember Jaeger, seconded by Councilmember Hanson, to approve the 2021 Lake Improvement Program and authorize cost-sharing expenditures in the amount of \$60,000. Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

Regarding Item 3S (Citizen Advisory Committee 2021



Workplan), Councilmember Barnett commented on the 2021 workplan noting the Citizen Advisory Committee has been meeting virtually for the past year. She noted this group was working to determine what the long-term plans should be for the Maple Grove Historical Society.

**Motion by Councilmember Barnett, seconded by Councilmember Hanson, for the Mayor and City Council to accept the Citizen Advisory Committee 2021 Workplan. Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

## **Special Business**

### **Open Forum**

There were no open forum issues brought before the Council at this meeting.

### **Maria's Voice Presentation**

Sara Silva, a representative from Maria's Voice, provided the Council with a presentation on the work being completed by this nonprofit organization. She thanked Police Chief Werner and the entire Maple Grove Police Department for the agency's commitment to promoting domestic violence awareness and for supporting the victims of domestic abuse. Ms. Silva presented Police Chief Werner with a framed blessing for the department. A round of applause was offered by all in attendance.

Ms. Silva then reviewed the Maria's Voice Pledge with the City Council and encouraged people to know the signs in order to save lives. She discussed the importance of domestic violence awareness, education and action. She noted she was creating an educational video that could be uploaded for companies in the community. She reviewed the national model for the spectrum of prevention. She stated she looked forward to continuing to work in the City of Maple Grove in order to prevent domestic abuse, to bring awareness, heal and save lives impacted by domestic abuse.

Councilmember Leith thanked Ms. Silva for her efforts to bring awareness to domestic abuse.

Councilmember Barnett thanked Ms. Silva for educating the public and for spreading the word regarding domestic abuse.

Mayor Steffenson thanked Ms. Silva for her continued efforts to

make the community better.

**Retirement of  
Fire Captain  
Mario Donato**

Fire Chief Bush recognized Fire Captain Mario Donato and thanked him for his 25+ years of paid on call service to the Maple Grove Fire Department. He described how Fire Captain Donato has served the community and wished him all the best in his retirement.

Mayor Steffenson thanked Fire Captain Donato for his dedicated service to the community.

Councilmember Jaeger and Councilmember Hanson thanked Fire Captain Donato for his tremendous service and commitment to the City of Maple Grove.

**Retirement of  
Firefighter  
Frank Otten**

Fire Chief Bush recognized Firefighter Frank Otten and thanked him for his 24 years of paid on call service to the Maple Grove Fire Department. He described how Firefighter Otten has served the community and wished him all the best in his retirement.

Mayor Steffenson thanked Firefighter Otten for his dedicated service to the community.

Councilmember Jaeger and Councilmember Hanson thanked Firefighter Otten for his tremendous service and commitment to the City of Maple Grove.

**Update on  
COVID-19  
Response**

Fire Chief/Emergency Management Director Bush provided the Council with an update on the city's response to COVID-19. He reported the State of Minnesota continues to see vaccine availability increase with accelerated delivery of vaccinations rapidly changing the planned delivery pattern. He explained this was allowing more options to Minnesotans who want to receive the vaccine. He discussed how healthcare providers and chain pharmacies were working to increase the pace of vaccinations. He noted while the supply continues to increase, there was still more demand than available vaccines. He reviewed the number of confirmed COVID cases in Maple Grove along with the trends in Hennepin County. He reviewed the number of Minnesotans that have been vaccinated to-date, stating Minnesota ranked fourth in the nation for its vaccination administration. He then discussed how the CodeRED system worked to provide high speed mass notification to residents and businesses in Maple Grove. He commented further on a message that would be sent via CodeRED on Tuesday, April 6,

2021 at 9:30 a.m.

**7:30 p.m.**  
**Public**  
**Hearing**

**2021 Street**  
**Rehabilitation**  
**Program**

**Resolution No.**  
**21-040**

Public Works Director/City Engineer Ashfeld requested the Council hold a public hearing and consider street reconstruction projects in various areas of the city. He discussed the letters of objection that had been submitted by the public to staff prior to this meeting. He reviewed the streets included in the project in further detail with the Council and described the work that would be completed. He commented on how streets age and deteriorate over time. It was noted the city maintains over 280 miles of local streets of various ages. He described why special assessments were charged to residents for the replacement of city streets and reviewed the city's project funding policy. The three different classifications for homes and the proposed assessments for each home type was discussed in further detail. He explained how city staff selected which streets should be replaced each year noting the city's objective was to reconstruct streets at lowest possible cost, to retain the existing investment in the streets, the maintain property values, improve aesthetics, enhance neighborhood safety, improve rideability of the street and to provide drainage improvements. He commented further on the improvements that would be completed in Appaloosa Woods, Energy Hills, Woodland Ponds, Wintergreen Area and Huntington Farms and recommended approval of the street rehabilitation projects.

Councilmember Leith reported the city has been doing this for many years and staff was pretty good at estimating project costs. He noted if the actual project costs come back lower than staff's estimate, the assessments would be reduced. However, if the actual costs come back higher than the estimate, the city would be absorbing these costs. Public Works Director/City Engineer Ashfeld stated this was correct.

Councilmember Leith commented the city paid 50% of project costs. He noted other communities expect residents to pay 75% or even 100% of the project costs. He explained his home was within the project area for 2021 and indicated he would be voting to assess his own home. He indicated he looked forward to the pothole near his mailbox being removed and reconstructed.

Councilmember Hanson stated she too lived within the street rehabilitation project area. She explained she has lived in her

home for the past 30 years and the road was in need of replacement. She encouraged residents to contact city staff with any drainage concerns or unique landscaping situations they may have prior to work beginning.

Councilmember Hanson questioned when work would begin on these projects. Public Works Director/City Engineer Ashfeld reported work would begin the middle of May in hopes of being completed prior to the cold season of fall.

Councilmember Hanson asked if residents interested in replacing their driveway should have this work done this summer prior to the street being completed. Public Works Director/City Engineer Ashfeld recommended residents have their driveways replaced after the streets, concrete curbs and concrete aprons were completed.

Councilmember Jaeger encouraged residents who have large gatherings planned for this summer to let city staff know. She also noted the city has assistance available for the elderly. Public Works Director/City Engineer Ashfeld commented further on the deferment programs that the city had in place for those facing a financial hardship or the elderly 65 or older. It was noted interest would continue to accrue with either of these deferment programs.

**Motion by Councilmember Jaeger, seconded by Councilmember Hanson, to open the public hearing. Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

Mayor Steffenson opened the public hearing at 8:40 p.m. and asked if anyone would like to address this issue.

**Motion by Councilmember Leith, seconded by Councilmember Barnett, to approve deny receiving 34 letters of objection from property owners. Addresses listed below are in the proposed 21-02 Energy Hills, Woodland Ponds and Wintergreen areas. Objection letters are on file with the Engineering Department.**

**8709 Forestview Lane North  
8721 Forestview Lane North  
8707 Forestview Lane North  
8830 Cottonwood Lane North**

**8712 Cottonwood Lane North  
8741 Forestview Lane North  
8756 Cottonwood Lane North  
8764 Cottonwood Lane North  
8726 Forestview Lane North  
8729 Forestview Lane North  
8892 Cottonwood Lane North  
8810 Cottonwood Lane North  
8791 Forestview Lane North  
8750 Forestview Lane North  
8734 Forestview Lane North  
8728 Forestview Lane North  
8770 Cottonwood Lane North  
8718 Cottonwood Lane North  
8715 Forestview Lane North  
8701 Forestview Lane North  
8727 Forestview Lane North  
8740 Forestview Lane North  
8828 Cottonwood Lane North  
8884 Cottonwood Lane North  
8735 Forestview Lane North  
8719 Cottonwood Lane North  
8750 Cottonwood Lane North  
8702 Cottonwood Lane North  
8800 Cottonwood Lane North  
8854 Cottonwood Lane North  
8874 Cottonwood Lane North  
8826 Cottonwood Lane North  
8862 Cottonwood Lane North  
8856 Cottonwood Lane North**

**Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

Pattie Garger, 12076 92<sup>nd</sup> Avenue North, stated she was an attorney speaking on behalf of several members of the Appaloosa Woods community including: Tom and Donna O'Connor; 18633 81<sup>st</sup> Place N, Paul and Mary Anderson, 8096 Vagabond Lane N; Sean and Marcia McCoy, 18445 82<sup>nd</sup> Place N; and Melinda Anderson, 8250 Vagabond Lane N. She explained she was in attendance as an advocate and not an adversary. She discussed the history of special assessments in Maple Grove noting Appaloosa Woods (a single family home community) was chosen in 2017 to be completed in 2021 as part

of a five phase project. She stated the assessments charged to single family homes from the projects completed in 2018 was \$4,900. In 2019, the proposed assessment charged to single family homes was increased to \$5,800. When notice was provided to residents in 2020, the assessment was estimated to be \$6,800. However, she noted Appaloosa Woods homeowners had been singled out and would be assessed \$8,160. The result is a 45% increase in special assessments only to Appaloosa Woods. She commented further on the total project costs and noted the portion that would be covered by the city. She understood this project had not been put out to bid yet and discussed how COVID had impacted the production of construction materials and demand for labor. She stated the Appaloosa Woods neighborhood objected to and had concerns regarding the assessments being charged to single family homes. She noted the assessments were not being fairly assessed as required by State Statute. She questioned why Appaloosa Woods has an almost 45% increase in the amount of their special assessment. She stated Appaloosa Woods has the third largest number of residents. She inquired why the city was just now changing the assessment amount to reflect a larger lot size. She commented the formulas and methodologies used to calculate the special assessments have not be adjusted to take into consideration the impact of COVID. She reported the estimates for 2021 should have been based on 2020 numbers, which would take into consideration the impact of the pandemic. She discussed how families around the community had been financially impacted by COVID. She feared that when this project was put out to bid, the project costs would come in higher than staff anticipated. She requested the Council to revisit how special assessments are calculated to ensure all single family residents have been uniformly charged. She recommended the Council consider any hardships a drastic increase in the special assessments would have on homeowners who have been adversely impacted by COVID. She asked that the Council delay putting this project out to bid until a time when construction materials and labor expenditures have stabilized and/or returned to normal. She noted Appaloosa Woods was not objecting to the project as a whole, but was objecting to the project at this time.

Councilmember Jaeger stated that if the project were delayed, the more it would cost in the future. Public Works Director/City Engineer Ashfeld commented he could not answer this question.

He explained staff has seen rapidly increasing costs in the construction industry over the last two or three years, even before COVID. He indicated things could stabilize, but staff had no idea when this would occur. He noted the condition of the roadways in some of these neighborhoods was quite deteriorated and if not corrected, costs would increase.

Ms. Garger reported there has been a time in the past nine years where labor and construction materials were increased due to increased gas prices and once these went down, labor and material costs also went down. She believed that the current increase for labor and construction costs was temporary.

Mayor Steffenson asked who Ms. Garger was representing. Ms. Garger explained she was representing certain members (five to seven residents) of the Appaloosa Woods community, but not all.

Councilmember Hanson questioned if the bids came back higher than estimated by staff, the city would be responsible for covering this difference. Public Works Director/City Engineer Ashfeld indicated staff estimated the project costs last winter based on the best information staff had. He noted 2020 costs were as high as what was being projected for 2021. He stated if costs come in higher, then the city would incur the additional expense and this extra expense would not be passed along to the homeowners.

Mayor Steffenson requested staff speak to the cost differential between R-1 and R-2 homes. Public Works Director/City Engineer Ashfeld discussed the special assessment rates for R-1 and R-2 properties and explained the cost for Appaloosa Woods was higher because there was more front footage per home, which made the cost 20% higher based on the zoning criteria.

Mayor Steffenson inquired how increased oil prices would impact the project. Public Works Director/City Engineer Ashfeld stated to some degree oil prices would impact project costs, but not as much as a natural disaster. He reported the city tracks the Engineering News Record which was the national company that tracks heavy construction inflation. He stated if one was to go back 30 years, there would be higher years and lower years. He estimated that the inflation rate for heavy construction was about 3% per year.

Mr. Garger reiterated that this was the first time single family homes have been assessed separately based on their size. Up until this time, all developments in the five phases have been uniformly assessed, which was the requirement within State Statute. She explained State Statute requires uniformity and equality. She questioned why one specific development, Appaloosa Woods, should be required to pay 45% more because their lot size is larger. She reported this was not uniform application of the State Statute. She added that the city has never seen the impacts of a global pandemic. She commented the only other similar occurrence in United States history was the bombing of Pearl Harbor. She then discussed a Minnesota Supreme Court case in which a contractor was not able to perform for the village of Minneota because construction costs had increased noting there was a scarcity of building materials. She reported because of COVID there was now a lack of workers and building materials. She noted the Minnesota Supreme Court ruled that a temporary suspension of the construction project should occur due to the events that had occurred.

Councilmember Jaeger stated in all her years of owning a home, or for those living on a corner, everybody is assessed the same.

Ms. Garger explained she would like this to be the case. She wanted to see all single family homes being assessed the same amount as has been done for the past four years through the city's Street Rehabilitation Program. She did not believe it was fair to charge all other neighborhoods \$6,800 for their special assessment when Appaloosa Woods would be charged \$8,160 per lot. She wanted to see all R-1 assessments charged for 2021 to be the same regardless of lot size.

Mayor Steffenson requested further comment from staff regarding the differential issue. Public Works Director/City Engineer Ashfeld stated he was not sure where the 45% came from. He reported the numbers within the feasibility study and the numbers within the assessment roll, the R-1 single family lots were slated to have a 20% increase in assessments, not 45%. He indicated this was the first time the city has had the differential in the Street Rehabilitation Program. He commented there has always been a differential between attached and detached single family homes. He noted this was the first time



in the past 25 years of this program, there has been a special R-1 zoning category. He explained Appaloosa Woods was singled out in 1992 when the neighborhood received its urbanized utility services along with concrete curb and gutter. He indicated this neighborhood paid a higher price for these services due to the size of the lots. He commented further on the differences between the R-1 and R-2 front footage standards.

Mr. Garger explained the 45% figure comes from when the project was proposed in 2017, all of the neighborhood groups were outlined and the assessment was to be \$4,800. However, this amount has steadily increased over time as the phases have been completed.

Councilmember Barnett asked if the Appaloosa Woods neighbors understood that a pause in this project could result in even higher costs. Ms. Garger commented the increases in special assessments are not clearly defined by the city. She explained material costs were at an all-time high because there was a scarcity of materials. She noted this was a common problem that was being seen in every state. She reported costs could come back down given time.

Councilmember Hanson explained she was unsure the argument that was being made was the correct application for the State Statute. She noted this had to do with property taxes. She commented further on the city's special assessment policy and which State Statute (429) directly correlated with this. She asked if the City Attorney had anything to add regarding this matter. City Attorney Templin reported the process being discussed tonight was under State Statute 429 and this statute has its own set of criteria and objections that have to be considered by the City Council.

Ms. Garger pointed out again, this was the very first time the application for special assessments have been changed for a neighborhood. She reported this has never happened before, therefore the application of the special assessments was not uniform and equal.

Councilmember Leith asked if the special assessment costs were completed in December. Public Works Director/City Engineer Ashfeld reported this was the case.

Councilmember Jaeger questioned what would happen if this project were delayed another year. Public Works Director/City Engineer Ashfeld stated Ms. Garger was representing five of 126 neighbors in Appaloosa Woods. He reported if the project were postponed based on the wants of five residents, there could potentially be 121 neighbors that want the project completed.

Pam Svihel, 8721 Forestview Lane North, thanked the Mayor and City Council for hearing her concerns. She requested 100% of the special assessment for Forestview Lane be borne by the city because this roadway was a collector street. She discussed how her neighborhood has changed over the years and how traffic had increased dramatically. She recommended Forestview Lane be designated a collector street by the city given the high level of traffic.

Councilmember Jaeger clarified that the city would be funding 100% of the utility repairs for collector streets, but not 100% of the pavement for the streets. Public Works Director/City Engineer Ashfeld reported the city covers 100% of both utilities and the collector street function. He explained collector streets are wider and are built to different specifications to manage additional traffic. He noted collectors traditionally have sidewalks and trails and the city covers the cost for these amenities. He indicated the city did not intend to eliminate the local street access benefit from the road. He stated all of the townhomes that access Forestview Lane would be assessed the same amount as the townhomes located along 88<sup>th</sup> Lane.

Ms. Svihel indicated Forestview Lane was a collector street and while she had access to this roadway, she requested the city make the determination that Forestview Lane was a collector.

Councilmember Jaeger requested staff look into installing crosswalks and other safety measures along Forestview Lane.

Joy Schwartz, 8715 Forestview Lane, stated she shared the same driveway as Pam Svihel. She explained she came to the city before the road went through because she was concerned about traffic. She discussed how the city defined collector streets. She noted there was a public facility on Forestview Lane. She indicated she was an outdoors person and discussed the large number of heavy trucks and police cars she sees driving along Forestview Lane. She noted many people do not observe the 30

mile per hour speed limit along Forestview Lane. She stated she feared for the safety of the residents in her townhome complex when trying to cross the street to get their mail. She commented further on how Forestview Lane was being used to provide quick access to city vehicles. She recommended the city reconsider how this roadway was being utilized and that it now be classified as a collector. She invited the City Council to visit Forestview Lane and to take into consideration the high level of truck traffic as well as the speed of traffic.

Councilmember Leith asked if the speed trailer could be placed along Forestview Lane. Public Works Director/City Engineer Ashfeld reported this could be done.

Councilmember Jaeger commented she was concerned about the seniors trying to get across the road to get their mail safely. She noted there was also a large number of children within the development at the corner. Public Works Director/City Engineer Ashfeld explained he would look into crosswalk options.

Bob Joiner, 18611 82<sup>nd</sup> Place North, stated he lives within Appaloosa Woods. He noted he was surprised by the comments that were made by Ms. Garger on behalf of some of his neighbors. He commented on the newer homes that were built in the southwest corner of his development noting new pavement was installed out to Highway 101. He stated this pavement was still in pretty good condition, but the rest of Appaloosa Woods has deteriorated greatly. He believed it was time to replace these roadways. He feared that the expense would only go up if the project were delayed. He requested the project move forward in an equitable manner, but he understood some of the lots were one or two acres in size. He reiterated that 95% of Appaloosa Woods was not being represented by Ms. Garger. He stated in his conversations with Mr. Ashfeld, the proposed special assessments were fairly fair given the fact Appaloosa Woods was a unique neighborhood.

Dalton Deardurff, 8709 Forestview Lane North, commented the speed of the vehicles along Forestview Lane was a concern to him. He thanked the Police Department for doing a good job watching their speed. However, he noted the city trucks were not always so considerate. He recommended the city slow their people down a little bit. He discussed a meeting that was held by the city several years ago noting most residents wanted the

street replaced in 2018 and not 2021. He discussed how this change had drastically impacted the assessment amount that was being charged to the residents living along Forestview Lane. He discussed the sidewalks that ran along Forestview Lane and recommended the city consider putting in sidewalks along their property for uniformity purposes.

Councilmember Jaeger reported she lives along Rice Lake Road and there were only sidewalks along one side of the street.

Councilmember Barnett commented on the city's five year plan for streets. She asked if the city typically asked when residents wanted their streets replaced.

Mayor Steffenson explained the city typically planned its street projects in five year increments.

Gary Jorgensen, 18820 81<sup>st</sup> Place North, stated he lived in the Appaloosa Woods neighborhood. He explained the attorney that was here does not represent him. He indicated he moved to his home last year and was expecting a \$4,800 assessment. He commented the roads near his home were in pretty good shape, except for a certain stretch. He questioned if it made the most sense to complete the entire neighborhood all at once, when not all streets were in need of replacement. He suggested only the deteriorated streets be replaced. He explained he used to live on Forestview Lane and he believed this roadway should be a collector street. He recommended that at least one stop sign be installed along Forestview Lane for safety purposes.

Ms. Schwartz recommended the city come out and speak to the residents in her townhome association regarding the mailboxes.

Mary Andersen, 8096 Vagabond Lane, reported she lives in Appaloosa Woods and indicated she would like to see her streets replaced. However, she does not like the price tag that comes with the street replacement. She requested the city pay more than 50% because the \$8,160 assessment was quite high. She stated she would like to see her neighborhood paying the same amount as other neighborhoods and not more. She requested speed bumps also be considered for her neighborhood to assist with controlling the speed of traffic.

Kim Marsh, 18667 82<sup>nd</sup> Place North, explained she had never

been through a street assessment before. She indicated she was not represented by the attorney, Ms. Garger. She stated if this was the first time the single family homes in Appaloosa Woods have been assessed separately or differently, she believed this was wrong. She commented there was no sound reason for doing this. She was perplexed by the fact the city was moving forward with this project on the heels of a pandemic. She noted she worked for a heating and air conditioning company, and explained the price of steel had dramatically risen. She believed that the cost for construction materials would go down over time. She requested the city consider delaying the project due to the high cost of building materials and labor.

Councilmember Leith questioned if the larger lot sizes within this neighborhood was taken into consideration in 1992 when the utilities were upgraded. Public Works Director/City Engineer Ashfeld reported this was the case. He indicated the only other neighborhoods in the city that have larger lots like Appaloosa Woods, have private streets.

Councilmember Jaeger reported if the city were to lower the assessments for Appaloosa Woods, then the remainder of the city's taxpayers would have to be charged to make up the difference. Public Works Director/City Engineer Ashfeld reported this was a possibility.

Councilmember Barnett asked if it was possible to do a COVID relief grant to assist with covering the expense of these assessments, if the residents could prove a need.

Mayor Steffenson reported all previous COVID dollars had been allocated. He explained he did not know if the additional COVID dollars could be used in this manner. City Administrator Nelson commented she would have to do some research into what an eligible expense might be.

Councilmember Leith indicated back in 2009, after the 2008 recession, a one-year deferment was granted to homeowners. He stated this could be considered for homeowners that have been adversely impacted by COVID. Public Works Director/City Engineer Ashfeld commented further on the deferments that occurred in 2009, noting the deferment was done uniformly for all properties and interest continued to accrue. He recommended the Council consider allowing the deferment as an option for

those that have been impacted by COVID and that not all assessments be deferred for one year.

Councilmember Hanson reported the city has a hardship deferment program already in place for special assessments.

Mayor Steffenson asked if staff believed the city would continue to see substantially increases in construction costs or would this stabilize in the next few years. Public Works Director/City Engineer Ashfeld stated he could only guess but noted costs may flatten out over time.

Mr. Jorgensen asked why the homes on the golf course were not included within the Appaloosa Woods project area. Public Works Director/City Engineer Ashfeld reported there were a number of houses on the golf course that have access from the City of Corcoran. He noted the City of Corcoran was going through this same process because they would like to replace their streets and would be tying into this project. He explained the streets off of the cul de sac that were only 10 years old would not be part of this project. He commented further on the overlay that was completed in 1995.

Mr. Jorgensen discussed how the pandemic had driven the costs for building materials up. He recommended the City Council consider holding off for one year on this project in order to let prices stabilize.

Diane Carpentier, 8750 Cottonwood Lane, stated she served on the board for her townhome association. She indicated she had sent an email to the City Council. She noted Cottonwood Lane was two blocks long and there were 88 townhomes along this stretch. She believed the \$4,000 assessment was a bit excessive. She commented only six aprons would be installed to serve the 88 townhomes and noted there would be no sidewalks.

Dianne Miller, 8702 Cottonwood Lane, explained she was the president of her townhome association. She commented on the number of single family homes that could be located within a two block area and estimated this to be 40. She reported these 40 homes would pay \$232,000 for their two blocks in order to have their street replaced. She noted the 88 townhome owners would end up paying \$359,040 for their two blocks.

Ms. Carpentier reported there were also five twinhomes on her two blocks, which would be 10 more properties that would be assessed for this property.

Ms. Miller questioned where cars would be parking while the concrete aprons cured. She recommended staff speak with her about how the mailboxes would be handled. Public Works Director/City Engineer Ashfeld stated half of the aprons may have to be done at one time and the remainder at another time.

Ms. Miller requested there be an increase in police presence if cars were required to be parked on the street. Project Coordinator Joseph Bzdok, explained the driveways would be done one half at a time to ensure cars would still have access to the parking lots for the townhomes.

**Motion by Councilmember Jaeger, seconded by Councilmember Hanson, to close the public hearing at 10:04 p.m. Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

Councilmember Barnett asked if the Council would be offering a COVID deferment plan.

Councilmember Hanson stated she did not believe this was necessary given the hardship program the city already had in place.

Councilmember Leith asked if COVID would be considered a hardship. City Attorney Templin reported the applicant would have to meet the criteria within the program and have a demonstrated hardship in order to qualify for the hardship deferment program.

**Motion by Councilmember Hanson, seconded by Councilmember Barnett, to approve adopting Resolution No. 21-040 ordering Appaloosa Woods Project No. 21-01, Energy Hills 1st-5th Additions, Woodland Ponds 1st-8th Additions, Woodland Ponds East 1st-3rd Additions & Wintergreen 1st and 2nd Additions Project No. 21-02, and Huntington Farms East and West Project No. 21-03, adopting the special assessments against benefitted lands, ordering plans, approving plans and authorizing advertisement for bids.**

Councilmember Barnett stated she heard the concerns voiced by the residents living in Appaloosa Woods, however she also knew that delaying the project by one or two years could increase the overall project costs. She encouraged those that have faced a hardship to consider applying for the city's assistance program.

Mayor Steffenson agreed, stating he did not believe a decrease would occur if the project were delayed one year. He commented he understood why the assessments for the Appaloosa Woods were higher given the size of the lots.

**Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

**Recess**

Mayor Steffenson recessed the City Council meeting at 10:14 p.m.

**Reconvene**

Mayor Steffenson reconvened the City Council meeting at 10:21 p.m.

**Community  
Development  
Items**

**The Grove  
15715 Grove  
Circle  
Planned Unit  
Development  
Non-  
Residential  
Development  
Stage Plan**

Associate Planner, Corrow reported the applicant seeks approval of a development stage plan for the purpose of constructing a 5,937 square foot one-story medical office building on a 0.85-acre parcel. The site is on the western edge of the "Village" area of The Grove development adjacent to Hospital Drive. Although the proposed building is slightly larger than is shown on the approved concept plan, the increased building area is less than a 10% and does not require an amendment to the concept plan. The landscaping plan was reviewed with the Council. Staff discussed the plans in further detail and reported the Planning Commission recommends approval of the request.

Councilmember Jaeger reported the Planning Commission fully supported this request.

Ben Krsnak Hemple Real Estate, thanked the Council for considering his project. He noted the proposed building would be used as a medical clinic and would fit well into The Grove.



Councilmember Hanson asked if the traffic comments, parking and pedestrian concerns had been addressed by the applicant. Mr. Corrow reported additional parking has been removed and sidewalk connections had been addressed to the south of the site.

**Motion by Councilmember Jaeger, seconded by Councilmember Hanson, to approve directing the City Attorney to draft a Planned Unit Development agreement and a Resolution approving The Grove 15715 Grove Circle PUD development stage plan, subject to:**

- a. The Transportation Operations Engineer dated March 3, 2021
- b. The Fire Department dated March 8, 2021
- c. The Water Resources Engineer dated February 26, 2021
- d. The Parks & Recreation Department, dated March 3, 2021

**The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.**

**Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

**Palisades at  
Nottingham  
3<sup>rd</sup> Addition  
Planned Unit  
Development  
Residential  
Concept Stage  
Plan,  
Development  
Stage Plan  
and Rezoning**

Associate Planner, Corrow reported the applicant is requesting Planned Unit Development (PUD) concept stage plan, development stage plan and rezoning approval for a seven lot, single-family detached home neighborhood. The total size is approximately 5 acres in size, with .12 acres of wetlands. The proposed density of 1.43 units per acre is consistent with the low-medium residential guiding of 1-4 units per acre. Access is proposed via a continuation of Xene Lane N which will then turn to the east (becoming 73<sup>rd</sup> Avenue North) and connect with Zanzibar Lane. A sidewalk is provided on one side of this street as was done in the rest of the Nottingham neighborhood. All lots are proposed to be over 10,000 s.f. in size and at least 85 feet in width. In general, the proposal is almost identical to the ghost plat that was created for this site when the Nottingham

neighborhood was developed. It was noted the developer was proposing to remove 43.6% of the trees, which was under the 51% threshold. Staff reviewed the comments made at the Planning Commission meeting regarding the removal of old growth trees and reported the Planning Commission recommended approval of the request.

Councilmember Hanson thanked staff and the applicant for working to save as many trees as possible. She asked if the 150-year-old oak trees were being saved. Associate Planner, Corrow commented he was uncertain, but noted a number of larger (30") trees were being saved.

Councilmember Hanson encouraged the developer to work carefully around the trees that were being preserved in order to not upset their roots.

Councilmember Leith thanked the developer for pursuing seven lots instead of eight in order to save more trees.

Councilmember Jaeger thanked the developer for working to save as many trees as possible.

Mayor Steffenson asked if the south side of the road borders on the southern property or was their space between this property and the southern property. Associate Planner, Corrow explained the right of way of the road would border up to the property. He indicated the road would be about 12.5 feet from the southern property line.

Mayor Steffenson questioned if the two five acres to the south had ghost plats completed with access for the area. Associate Planner, Corrow discussed how the lots to the south would have access in the future.

Councilmember Jaeger noted she had not seen plans regarding stormwater management and wetland impact. Associate Planner, Corrow explained a small area of wetland would be developed over and mitigated as part of the plan. He reported the applicant has worked with the watershed district on these details.

Eric Zehnder, Zehnder Homes, reported the watershed district was in support of the plans for this project, which included filling the wetland.

**Motion by Councilmember Leith, seconded by Councilmember Jaeger, to approve directing the City Attorney to draft an Ordinance rezoning property from R-A, Single Family Agricultural to PUD Planned Unit Development subject to the approval of the final plat. Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

**Motion by Councilmember Leith, seconded by Councilmember Barnett, to approve directing the City Attorney to draft a Planned Unit Development Agreement and a Resolution approving the Palisades at Nottingham 3rd Addition PUD concept stage plan and development stage plan, subject to:**

- 1. The applicant addressing to the satisfaction of the city any remaining applicable comments contained in the memorandums from:**
  - a. The Community & Economic Development Department dated March 22, 2021**
  - b. The Water Resources Engineer dated March 10, 2021**
  - c. The Parks & Recreation Department, dated March 9, 2021**

**The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.**

**Upon call of the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

**Report on  
Upcoming  
Community  
and Economic  
Development  
Items**

Community and Economic Development Director Hogeboom updated the Council regarding the following:

- A request from the Shake Shack will be reviewed by the Planning Commission on Monday, April 12, 2021 at 7 p.m.

**Report on**

Director of Public Works/City Engineer Ashfeld updated the

**Upcoming  
Engineering  
Items**

Council regarding the following:

- Zachary Lane south of County Road 81 will be closed by the railroad for railway maintenance at 9:00 p.m. on Wednesday evening and will reopen at 6:00 a.m. on Thursday morning.

**Heidi Nelson,  
City  
Administrator**

Ms. Nelson explained that the Council has her Monday report if there are any questions. She stated the Board of Appeals meetings would be held on Thursday, April 8, 2021 at 7:00 p.m. and again on Thursday, April 22, 2021 at 7:00 p.m. She reported the Council would be holding a worksession meeting on Monday, April 19, 2021 to review the housing study recommendations. She noted a worksession meeting would also be held on Monday, May 3, 2021 to discuss community center planning.

**Adjourn to  
EDA Meeting**

Mayor Steffenson adjourned the City Council meeting to the EDA Meeting at 10:39 p.m.

**Reconvene to  
Regular  
Meeting**

Mayor Steffenson reconvened the regular City Council meeting at 10:42 p.m.

**Items Added  
to the Agenda**

Councilmember Jaeger reported electric bikes are not allowed on the walking paths per City Code. She noted she spoke to Parks Director Stifter regarding this matter and he recommended the City Council discuss this item further.

Mayor Steffenson recommended the Council look into this issue further because electric bikes were here to stay.

Councilmember Jaeger encouraged residents to pick up after their dogs and to keep them on their leash.

Councilmember Jaeger reported Age Friendly Maple Grove would be meeting on Friday, April 9, 2021 at 8:30 a.m.

Councilmember Jaeger discussed the upcoming farmer's market and encouraged residents to get their orders placed because items sold quickly. She noted the last indoor farmer's market would be held on Sunday, April 11, 2021.

**Adjournment**

**Motion by Councilmember Jaeger, seconded by Councilmember Hanson, to adjourn to the regular City Council meeting on April 19, 2021 at 7:30 p.m. Upon call of**

**the motion by Mayor Steffenson, there were five ayes and no nays. Motion carried.**

The meeting was adjourned at 10:46 p.m. by Mayor Steffenson.

Respectfully submitted,

Heidi Nelson  
City Administrator

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

**3B**

**AGENDA ITEM**

**ORIGINATING DEPT**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Human Resources

DT

Mechanic Appointment



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### PREVIOUS ACTIONS:

Motion to authorize staff to begin the recruitment process for a position of a Mechanic in the Public Works department due to the retirement of Kathleen Hall, which was accepted with an effective date of February 5, 2021.

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### RECOMMENDED COUNCIL ACTION:

Motion to approve the appointment of Seth Helleck to the position of Mechanic in the Public Works Department, at an annual salary of \$70,314.40, effective on April 20, 2021 subject to a 12-month probationary period. All required screenings and background checks have been successfully completed.

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### COMMENTS:

Seth was amongst six finalists who were interviewed in February and March of 2021. He graduated in 2003 from Wyotech Technical College with an Associate's Degree in Auto Mechanics and Applied Service Management. Over a period of 8+ years, has experience as a Journeyman working in a variety of mechanical faucets that include: diesel mechanic, power generation, foreign and domestic automobiles and general maintenance of small/heavy equipment.

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

3C

**AGENDA ITEM**

**ORIGINATING DEPT**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Human Resources DT

Approval of Consulting Agreement  
for with Herreid & Associates  
Consulting, Inc.



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### PREVIOUS ACTIONS:

Authorize the City Administrator to execute a consulting agreement with Herreid & Associates Consulting, Inc. to provide organizational assessment and development services. The contract includes language stating that the total payment for services cannot exceed \$28,000.00.

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### RECOMMENDED COUNCIL ACTION:

Authorize the City Administrator to execute a consulting agreement with Herreid & Associates Consulting, Inc. to provide organizational assessment and development services.

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### COMMENTS:

Between January and March 2021, Herreid & Associates Consulting, Inc has completed the first phase of organization consulting work. This contract will initiate the second phase to include implementing recommended action plans from the organizational assessment.

April 19, 2021

DATE

**REQUEST FOR COUNCIL ACTION**

3D

AGENDA ITEM

**ORIGINATING DEPARTMENT**

Human Resources DT

**AGENDA ITEM**

Ratify Updates to Interim Policy 2021-02: Temporary COVID Program for Employees

**CITY ADMINISTRATOR'S APPROVAL**



**PREVIOUS ACTIONS:**

None

**RECOMMENDED COUNCIL ACTION:**

Motion to ratify the updates to Interim Policy 2021-02: Temporary COVID Program for Employees.

**COMMENTS:**

City staff has been continually monitoring the COVID-19 situation closely and making recommendations based on frequently changing circumstances and recommendations from local, state and federal public health officials.

The most recent updates to the policy provide clarification for leave options for employees for various COVID-19 related situations, including obtaining the COVID-19 vaccine. Benefit-earning employees will be eligible to receive up to 2 hours of paid leave to receive the COVID-19 vaccine during work hours. This benefit is consistent with past practice of public safety employees in Maple Grove, as well as a benefit that is offered to many comparable cities.



## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

3E

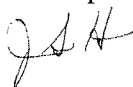
**AGENDA ITEM**

**ORIGINATING DEPT.**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Community and Economic  
Development



Evanswood  
PUD Concept Stage Plan



### PREVIOUS ACTIONS:

At their meeting of Monday, March 15, 2021, the City Council tabled the Evanswood PUD concept stage plan to the meeting of Monday, April 19, 2021.

At their meeting of Monday, March 1, 2021, the City Council tabled the Evanswood PUD concept stage plan to the meeting of Monday, March 15, 2021.

At their meeting of Monday, February 1, 2021, the City Council tabled the Evanswood PUD concept stage plan to the meeting of Monday, March 1, 2021.

At their meeting of Monday, January 25, 2021, the Planning Commission recommend 5-1 that the City Council direct the City Attorney to draft a Resolution approving the Evanswood PUD concept stage plan subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:
  - a. The Community & Economic Development Department dated January 14, 2021
  - b. The Fire Department dated January 8, 2021
  - c. The Water Resources Engineer, dated January 11, 2021
  - d. The Parks & Recreation Department, dated January 20, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

Applicant:	The Excelsior Group
Application Received:	December 28, 2020
60 Day Review Deadline:	February 27, 2021
120 Day Review Deadline:	April 28, 2021
15.99 Extension:	May 18, 2021
Address:	18100 101st Avenue North, 17690 101st Avenue North and 10325 Troy Lane North

Peter Vickerman, Project Manager – X6046  
Evanswood  
PUD Concept Stage Plan  
Request for Council Action  
April 19, 2021  
Page 2

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**RECOMMENDED COUNCIL ACTION:**

Motion to table the Evanswood Concept Plan PUD so that the applicant can address concerns raised by the City Council.

**(Simple majority vote for passage)**

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**COMMENTS:**

The applicant has requested to table this item so they can continue to work on their plans.

The applicant has extended the city's timeline to review this item under Minn. Stat. 15.99 to May 18, 2021.

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

3F

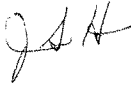
**AGENDA ITEM**

**ORIGINATING DEPT.**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Community and Economic  
Development



Palisades at Nottingham 3rd Addition  
Planned Unit Development Residential  
Concept Stage Plan,  
Development Stage Plan  
and Rezoning  
Ordinance No. 21-07  
Resolution No. 21-044



### PREVIOUS ACTIONS:

At their meeting of Monday, April 5, 2021, the City Council directed the City Attorney to draft an Ordinance rezoning property from R-A, Single Family Agricultural to PUD Planned Unit Development subject to the approval of the final plat.

The City Council directed the City Attorney to draft a PUD agreement and a Resolution approving the Palisades at Nottingham 3rd Addition PUD concept stage plan and development stage plan, subject to:

1. The applicant addressing to the satisfaction of the city any remaining applicable comments contained in the memorandums from:
  - a. The Community & Economic Development Department dated March 22, 2021
  - b. The Water Resources Engineer dated March 10, 2021
  - c. The Parks & Recreation Department, dated March 9, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

At their meeting of Monday, March 29, 2021, the Planning Commission recommend that the City Council direct the City Attorney to draft an Ordinance rezoning property from R-A, Single Family Agricultural to PUD Planned Unit Development subject to the approval of the final plat.

Planning Commission recommend that the City Council direct the City Attorney to draft a Resolution and a Planned Unit Development agreement approving the Palisades at Nottingham 3rd Addition PUD concept stage plan and development stage plan, subject to the comments contained in the memorandums listed above.

Applicant:	Palisades at Nottingham Development, LLC
Application Received:	February 22, 2021
60 Day Review Deadline:	April 23, 2021
Address:	7310 Zanzibar Lane North

Peter Vickerman, Project Manager – X6046  
Palisades at Nottingham 3rd Addition  
Planned Unit Development Residential Concept Stage Plan,  
Development Stage Plan and Rezoning  
Request for Council Action  
April 19, 2021  
Page 2

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**RECOMMENDED COUNCIL ACTION:**

Motion to adopt Ordinance No. 21-07 rezoning property from R-A, Single Family Agricultural to PUD Planned Unit Development subject to the approval of the final plat.

Motion to adopt Resolution No. 21-044 approving the Palisades at Nottingham 3rd Addition PUD concept stage plan and development stage plan subject to:

1. Planned Unit Development agreement final review and approval of the City Attorney and the Director of Community & Economic Development.

**(Simple majority vote for passage)**

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**COMMENTS:**

Attached is Ordinance No. 21-07 rezoning property from R-A, Single Family Agricultural to PUD Planned Unit Development subject to the approval of the final plat and Resolution No. 21-044 approving the Palisades at Nottingham 3rd Addition PUD concept stage plan, development stage plan and PUD agreement.

**ATTACHMENTS:**

Attachment A: Ordinance No. 21-07  
Attachment B: Resolution No. 21-044  
Attachment C: Planned Unit Development Agreement

**ORDINANCE NO. 21-07**

**CITY OF MAPLE GROVE**

**AN ORDINANCE TO AMEND THE MAPLE GROVE ZONING ORDINANCE  
BY AMENDING ZONING DISTRICTS THEREIN**

THE CITY COUNCIL OF THE CITY OF MAPLE GROVE DOES ORDAIN:

SECTION 1. **AMENDMENT**. The zoning classification of the property described in Section 2, as shown on the zoning map referred to in Section 36-182 of the Maple Grove Ordinance Code, is hereby amended from R-A, Single Family Agricultural to R2-PUD (Single Family Residential - Planned Unit Development).

SECTION 2. **PROPERTY DESCRIPTION**. Located at 7310 Zanzibar Lane North, Maple Grove, Minnesota (PID 29-119-22-14-0001).

SECTION 3. **EFFECT**. This Ordinance shall be in full force and effect from and after its passage and publication as required by law and upon the filing of the final plat of Palisades at Nottingham 3<sup>rd</sup> Addition.

Adopted by the City Council of the City of Maple Grove this 19th day of April, 2021.

\_\_\_\_\_  
Mark Steffenson, Mayor

ATTEST:

\_\_\_\_\_  
Amy Dietl, City Clerk

Published in the Osseo-Maple Grove Press: \_\_\_\_\_

RESOLUTION NO. 21-044

CITY OF MAPLE GROVE

**PLANNED UNIT DEVELOPMENT – CONCEPT STAGE PLAN, PLANNED  
UNIT DEVELOPMENT - DEVELOPMENT STAGE PLAN AND PRELIMINARY  
PLAT FOR PALISADES AT NOTTINGHAM 3<sup>RD</sup> ADDITION**

WHEREAS, Palisades at Nottingham Development, LLC (hereinafter referred to as the “**Applicant**”) is the applicant for a Planned Unit Development (hereinafter referred to as “**PUD**”) – Concept Stage Plan, PUD - Development Stage Plan, and preliminary plat (hereinafter collectively referred to as the “**Application**”) for property located within the City of Maple Grove at 7310 Zanzibar Lane North and shown on attached Exhibit A (hereinafter referred to as the “**Property**”); and

WHEREAS, the City staff studied the matter, made a report, and provided other information to the Planning Commission and City Council; and

WHEREAS, the City Planning Commission held a public hearing and considered the Application at its March 29, 2021 meeting, recommending approval of the Application; and

WHEREAS, the City Council consider the Application at its April 5, 2021 meeting, receiving the recommendation from the Planning Commission, the report from City staff and other information.

NOW, THEREFORE, the City Council of the City of Maple Grove makes the following:

FINDINGS

- A. The Applicant is seeking approval of (i) preliminary plat, (ii) PUD – Concept Stage Plan, and (iii) PUD – Development State Plan to develop the Property with seven (7) detached single-family homes.
- B. The Applicant has submitted, for the City Council’s review and approval, the (i) plans for the Property drafted by Sathre-Bergquist, Inc., dated February 22, 2021, which Title Sheet is attached hereto as Exhibit B (hereinafter referred to as the “**Plans**”), and (ii) the Plans include at Sheet PP the preliminary plat of the Property (hereinafter referred as the “**Preliminary Plat**”), which Preliminary Plat is attached hereto as Exhibit C.
- C. The Property is currently zoned R-A, Single Family Agricultural. The Applicant has made separate application to rezone the Property to R2-PUD (hereinafter referred to as the “**Rezoning Ordinance**”). The Property is partially in a Tree Preservation Overlay District. The Applicant is proposing to remove less than 51% of the tree inches on the Property within the Tree Preservation Overlay District. As such, no tree replacement is required. The

land to the north, east and west is zoned PUD. The land to the south is zoned R-A.

- D. Minnesota Statutes §462.357 grants to the City, for the purpose of promoting the public health, safety, morals and general welfare, the authority to regulate use of land within the City through zoning regulations.

- E. City Code §36-61 states:

A PUD is intended to allow variation from the strict literal provisions of this chapter, including, but not limited to, requirements relating to setbacks, height, floor area, floor area ratio, lot area, width, depth, and yards. If a proposed development is approved by the city as a PUD as provided in this section, then the dimensions of the PUD as approved shall be deemed to be in compliance with all of the dimensional requirements of this chapter, including setbacks, height, floor area, floor area ratio, lot area, lot width, lot depth and yards.

- F. City Code §36-61 further provides that a PUD is intended to result in a development in which the living or working environment is better than could otherwise have been achieved through strict enforcement of the dimensional requirements of other applicable sections of this chapter, or, in this case, a change from the approved PUD.

- G. City Code §36-64(a)(3) allows the simultaneous submission of an application for Concept Stage Plan and Development Stage Plan.

- H. The Applicant, pursuant to City Code Chapter 36, Article II, Division 2, has submitted the Plans for the City's review and approval.

- I. City Code §36-65(a) requires:

All applications, subject to this division with a residential component guided low-medium density residential, over ten acres in size and outside the gravel mining area, or guided medium density residential or high density residential, regardless of size, and outside of the gravel mining area, for development stage plan shall be assessed and reviewed simultaneously against the project points system, which is on file at city offices and is hereby made a part of this section.

- J. The Property is approximately 5 acres. As such, the proposed development of the Property is not subject to the project point system.

- K. The proposed development is consistent with the current zoning and the properties to the north, south, east and west, and will not be detrimental to said properties, to existing roads and traffic, and the general health, safety and welfare of the public, provided it is subject to and meets, to the

satisfaction of the City, the conditions set forth in this Resolution.

L. City Code §30-7 states:

[With exceptions], no conveyance of land shall be filed or recorded if the land is described in the conveyance by metes and bounds, or by reference to an unapproved registered land survey made after April 21, 1961, or if the land is described by reference to an unapproved plat made after February 25, 1954, unless the transaction has been reviewed pursuant to Minn. Stats. § 272.162, if required.

I. The Applicant, pursuant to City Code Chapter 30, has submitted the Preliminary Plat for the City's review and approval.

M. The Preliminary Plat meets the City Code requirements provided it is subject to and meets, to the satisfaction of the City, the conditions set forth in this Resolution.

DECISION

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Maple Grove and based upon the information received and the above Findings:

1. The City Council does hereby conditionally approve the PUD – Concept Stage Plan, PUD – Development Stage Plan, and the Plans allowing the Property to be developed with seven (7) detached single-family homes, subject to the conditions in Paragraph 3 below that must be met, to the satisfaction of the City, prior to release of the final plat for the Property based on the Preliminary Plat (hereinafter referred to as the “**Final Plat**”), unless otherwise expressly stated.
2. The City Council does hereby conditionally approve the Preliminary Plat subject to the conditions set forth in Paragraph 3 below that must be met, to the satisfaction of the City, prior to release of the Final Plat, unless otherwise expressly stated.
3. The following conditions must be met to the satisfaction of the City prior to the release of the Final Plat, unless otherwise expressly stated:
  - a. The approvals granted by this Resolution are subject to the completion of and compliance with all ministerial matters set forth in City Ordinance Code and required by the City, including, but not limited to, those of Engineering, Planning, Administrative and Legal Departments, *e.g.*, title examination, execution of Developer's Agreement, filing of letters of credit, and payment of fees. City Code §30-21.
  - b. Approval of a subsequent application for the Final Plat is conditioned



upon the City Council enacting and publishing, as required by law, the Rezoning Ordinance.

- c. The Applicant shall comply with the following requirements subject to the satisfaction of the City Director of Community and Economic Development:
  - i. The Plans show the right-of-way setback 10 feet from the property line and there being an unidentified lot between the right-of-way and the southern property line. The Plans shall be modified to provide for the unidentified lot being removed and the right-of-way shifted south to the southern property line.
  - ii. The Plans shall be modified to name the east/west right-of-way “73<sup>rd</sup> Avenue North”.
  - iii. The Plans shall be modified to have each proposed tree be of a different genus.
  - iv. The Plans shall be modified to provide for the addition of tree protection fence detail.
  - v. The Plans shall be modified to provide that any tree removal is only to be within the Property.
  - vi. The grading plan portion of the Plans is subject to change as required by the City after review with the grading permit.
  - vii. The Plans shall be modified to provide the sidewalk on the south side of 73<sup>rd</sup> Avenue to be shifted north to allow maintenance by adjacent property owners.
- d. The Applicant shall comply with the following requirements subject to the satisfaction of the City Engineer:
  - i. The Plans are subject to the review and recommendation of the Elm Creek Watershed District. The Plans shall be modified as recommended by the Elm Creek Watershed District and approved by the City Engineer.
  - ii. Sheet GP of the Plans shall be modified to provide for a structural connection from the proposed EOF to the existing structure.
  - iii. The Plans shall be modified to provide for a stormwater pollution prevention plan.
- e. The Applicant shall comply with the United States Postal Service

requirements regarding the use and placement of cluster mailboxes. The Plans shall be modified accordingly.

- f. An irrigation reduced pressure zone (hereinafter referred to as “**RPZ**”) is required for any irrigation systems and must be installed by the Applicant and/or eventual lot owner and tested in accordance with the Minnesota Department of Health Guidelines for Designing Backflow Prevention Assembly Installations (hereinafter referred to as “**Guidelines**”). The initial test results and certification shall be submitted to the City of Maple Grove Public Works Department. Subsequently, the RPZ must be tested, per the Guidelines, at least annually by a certified tester with the results reported to the City of Maple Grove Building Department and the RPZ must be rebuilt as needed in accordance with the Guidelines. Test/rebuilt reports shall be mailed or faxed to the City of Maple Grove Building Department at (763) 494-6424. The irrigation system shall be designed and the Plans shall be modified accordingly, prior to the issuance of any permits for the development of the Property, to accommodate a 1-inch water meter and a maximum flow of 50 gallons per minute. This is not a condition of release of the Final Plat, but an on-going requirement, that will be a term and obligation within the PUD Agreement (see PUD Agreement requirement below).
- g. The park dedication requirements shall be made on a cash dedication. The cash obligation for park dedication has been computed based upon the formula approved by City for use in the year 2021 (\$4,332.00 per single-family unit). Assuming the Final Plat is released by City for filing in said year, the park dedication amount to be paid for the Final Plat shall be \$30,324.00 (7 single-family units times \$4,332.00). If Final Plat is not released for filing before the City Council modifies the park dedication formula, the above-referenced payment shall be adjusted based upon the then park dedication computation formula approved by City Council effective when the Final Plat is released for filing with the Hennepin County. The park dedication fee as set forth above shall be paid prior to the respective final plat being released for filing at the Hennepin County Government Center.
- h. The Applicant shall provide a platting title commitment as required by Minn. Stat. §505.03. The above-mentioned evidence of title shall be subject to the review and approval of the City Attorney to determine the entities must execute the Final Plat and other documents to be recorded against the Property. Further, Applicant shall provide the City with evidence, which sufficiency shall be determined by the City, that all documents required to be recorded pursuant to this Resolution and by the City Attorney are recorded and all conditions for release of the Final Plat have been met prior to the City processing or approving any building permits or other permits applicable to the development of the Property.

- i. The Applicant shall execute a Developer's Agreement, drafted by the City, (herein referred to "**Developer's Agreement**") ensuring, among other things, the construction of and payment for public improvements and private improvements, the payment of special assessments and the establishment of sureties required by the City. The Developer's Agreement shall be recorded against and run with the Property. Permits for the development of the Property shall not be issued until the City is provided with recording information.
- j. The Applicant shall enter into a PUD agreement (hereinafter referred to as "**PUD Agreement**"), drafted by the City, memorializing the Applicant's obligations under this Resolution and City Code. The PUD Agreement shall be recorded against and run with the Property. Permits for the development of the Property shall not be issued until the City is provided with recording information.
- k. Construction on the Property shall, at all times, comply with the Plans, this Resolution, previous and subsequent approvals, and local, state, and federal rules and regulations.
- l. Maintenance of the Property shall, at all times, comply with the Plans, this Resolution, previous and subsequent approvals, and local, state, and federal rules and regulations.
- m. The Applicant shall pay upon demand all expenses, determined by the City, that the City incurs in relation to this development and Resolution, and shall provide an escrow deposit in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, including, but not limited to, hourly wage, overhead and benefits, engineering, legal and other consulting fees incurred in relation to the development.
- n. The Applicant shall make application for and receive (on the condition that the Applicant complies with the requirements of this Resolution and City Code) a building permit and construction activities on the Property shall commence, pursuant to the Plans, this Resolution and City Code, in compliance with City Code §36-64(b)(5).
- o. Application for the Final Plat must be made within the timeframe set forth in City Code §30-15(f)(2).

Motion to approve the foregoing findings, conclusions, and decisions was made by \_\_\_\_\_ and seconded by \_\_\_\_\_, upon a vote being duly taken thereon, the following voted in favor thereof:

and the following were against:

and the following were absent:

whereupon, the resolution was declared duly passed and adopted the 19<sup>th</sup> day of April, 2021.

STATE OF MINNESOTA )  
COUNTY OF HENNEPIN ) SS.  
CITY OF MAPLE GROVE )

I, the undersigned, being the duly qualified and acting Clerk of the City of Maple Grove, Hennepin County, Minnesota, a Minnesota municipal corporation, hereby certify that the above and foregoing Resolution No. 21-044 is a true and correct copy of the Resolution as adopted by the City Council on the 19<sup>th</sup> day of April, 2021.

\_\_\_\_\_  
City Clerk

## Palisades at Nottingham 3rd Addition

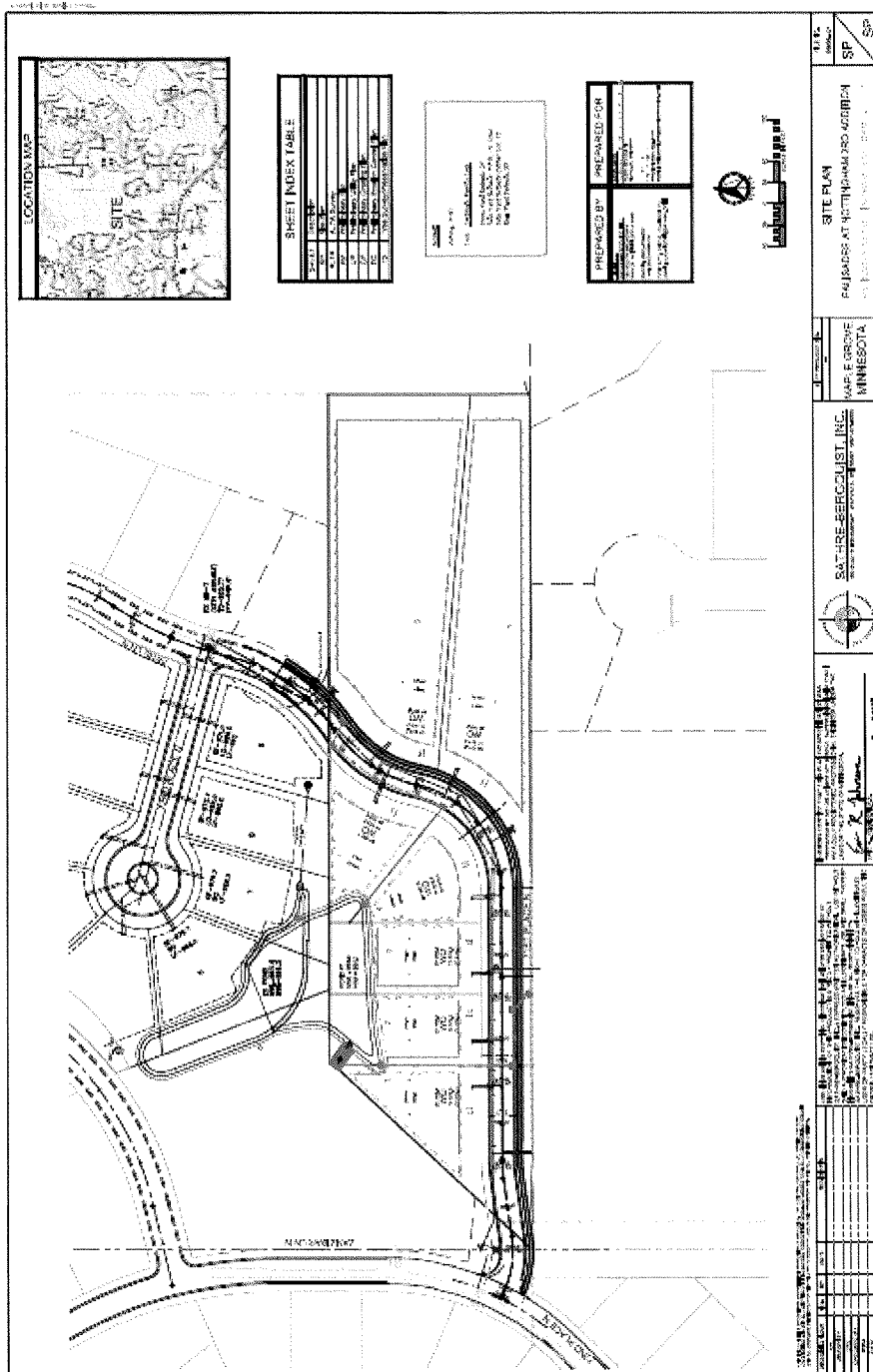
**PUD Concept Stage Plan,  
Development Stage Plan  
and Rezoning**



0 250 500 Feet

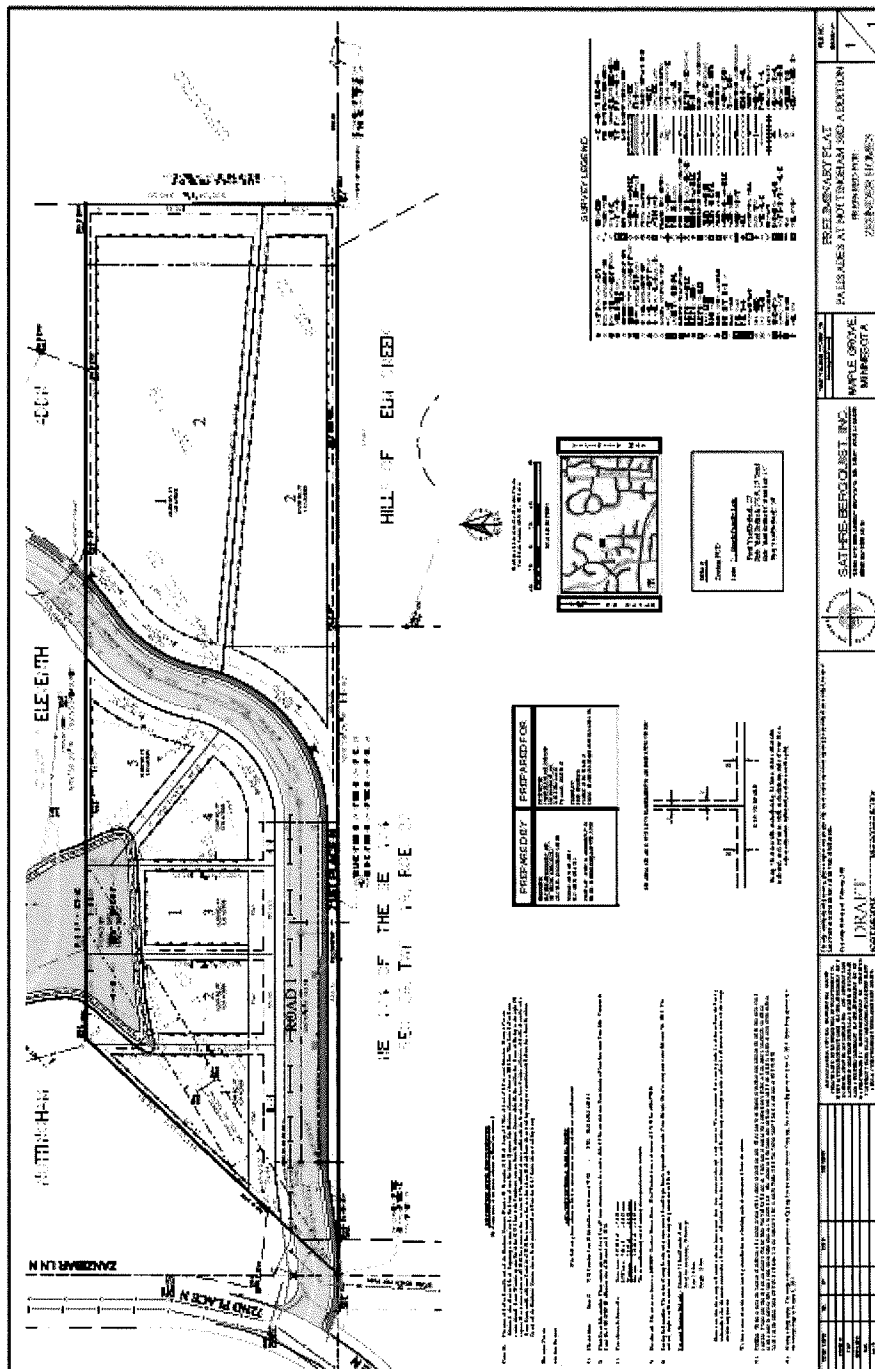
Fall  
 U 501-20 203  
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## EXHIBIT B



SHEET INDEX TABLE	
SHEET	Description
SP	Site Plan
ALTA	ALTA Survey
PP	Preliminary Plat
UP	Preliminary Utility Plan
GP	Preliminary Grading Plan
EC	Preliminary Erosion Control Plan
TS	Tree Survey/Preservation Plan

## 11





This Instrument Drafted By:  
Hoff Barry, P.A. (SBL)  
100 Prairie Center Drive, Suite 200  
Eden Prairie, MN 55344

## PLANNED UNIT DEVELOPMENT AGREEMENT

**THIS PLANNED UNIT DEVELOPMENT AGREEMENT** (hereinafter referred to as “**Agreement**”) is entered into this \_\_\_\_ day of \_\_\_\_, 2021 (hereinafter referred to as the “**Effective Date**”), by and between Palisades at Nottingham Development, a LLC, (hereinafter referred to as “**Developer**”) and the CITY OF MAPLE GROVE, a Minnesota municipal corporation (hereinafter referred to as “**City**” Developer and City sometimes individually referred to as “**Party**” and collectively “**Parties**”).

### RECITALS:

**WHEREAS**, Developer is the fee owner and intends to develop a parcel or parcels of land lying within the City and legally described on attached Exhibit 1 (hereinafter referred to as the “**Property**”); and

**WHEREAS**, on April 19, 2021, the City Council passed Resolution No. 21-044 conditionally approving the Planned Unit Development (hereinafter referred to as “**PUD**”) –Concept Stage Plan, PUD - Development Stage Plan, and preliminary plat for the Property, which approvals consist of (i) plans for the Property drafted by Sathre-Bergquist, Inc., dated February 22, 2021, which Title Sheet is attached as Exhibit B to Resolution No. 21-044 (hereinafter referred to as the “**Plans**”), and (ii) the Plans include at Sheet PP the preliminary plat of the Property (hereinafter referred to as the “**Preliminary Plat**”), which Preliminary Plat is attached as Exhibit C to Resolution No. 21-044; and

**WHEREAS**, on \_\_\_\_\_, 20\_\_\_\_, the City Council passed Resolution No. \_\_\_\_\_ conditionally approving the final plat of Palisades at Nottingham 3<sup>rd</sup> Addition, drafted by \_\_\_\_\_ (hereinafter referred to as the “**Final Plat**”); and

**WHEREAS**, this Agreement is entered into for the purpose of setting forth and memorializing the understandings and agreements of the parties concerning the use of the Property as a PUD and in accordance with the Resolution, previous approvals, and matters which are required by the City, and City Code, so that subsequent owners of the Property may know the limitations and obligations of the parties concerning the Property.

**NOW, THEREFORE**, it is hereby and herein mutually agreed, in consideration of promises and considerations of City and Developer herein set forth, as follows:

1. **INCORPORATION**. The above Recitals, Resolution No. 21-044, Resolution No. \_\_\_\_\_ (hereinafter Resolution No. 21-044 and Resolution No. \_\_\_\_\_ are collectively referred to as the “**City Resolutions**”), the Plans, the Preliminary Plat,

the Final Plat, and all exhibits attached to this Agreement are a material part of this Agreement and are incorporated herein.

2. **ZONING.** The zoning of the Property is R2-PUD, Single-Family Residential Planned Unit Development. The R2 zoning district shall apply to those portions of the Property, except as modified by the City Resolutions, the Plans, and this Agreement.
3. **DEVELOPMENT; MAINTENANCE.** Development of, construction on and maintenance of the Property shall be done in accordance with and shall comply, at all times, with the Plans, the City Resolutions, this Agreement and all applicable sections of the City Code and other governmental rules and regulations.
4. **PLANNED UNIT DEVELOPMENT REQUIREMENTS.** The Developer shall comply with all of the requirements set forth in City Resolutions, including, but not limited to, Section 3, of Resolution No. 21-044 to the satisfaction of the City and prior to the issuance of any permits for the development of the Property.
5. **IRRIGATION.** An irrigation reduced pressure zone (hereinafter referred to as “RPZ”) is required for any irrigation systems and must be installed by the Developer and/or eventual lot owner and tested in accordance with the Minnesota Department of Health Guidelines for Designing Backflow Prevention Assembly Installations (hereinafter referred to as “Guidelines”). The initial test results and certification shall be submitted to the City of Maple Grove Public Works Department. Subsequently, the RPZ must be tested, per the Guidelines, at least annually by a certified tester with the results reported to the City of Maple Grove Building Department and the RPZ must be rebuilt as needed in accordance with the Guidelines. Test/rebuilt reports shall be mailed or faxed to the City of Maple Grove Building Department at (763) 494-6424. The irrigation system shall be designed, and the Plans shall be modified accordingly, prior to the issuance of any permits for the development of the Property, to accommodate a 1-inch water meter and a maximum flow of 50 gallons per minute.
6. **DEVELOPER TO PAY ALL COSTS.** Developer shall pay, within thirty (30) days of demand, all reasonable expenses that the City incurs in direct relation to the development of the Property and this Agreement. Said expenses shall include, but are not limited to, staff, engineering, legal and other consulting fees reasonably incurred in relation to this Agreement.
7. **VIOLATION OF AGREEMENT.** In the event the Developer, or their respective successors or assigns, violates any of their respective covenants or agreements herein contained, and such violation is not corrected, or commenced to be corrected by the Developer, (which correction shall be diligently and promptly pursued and completed), within thirty (30) days after written notice specifying such violation, and unless a different cure period applies pursuant to another section of this Agreement, the City is hereby granted the right and privilege to declare a default in

any or all of the terms of this Agreement and pursue any remedies at law or equity against the defaulting Party.

8. **CERTIFICATE OF OCCUPANCY.** No Certificate of Occupancy shall be issued for any building constructed on any lot within the Property until the Developer has complied with all of the terms of this Agreement and the Resolution with respect the Property. If Developer is in default under this Agreement, City may, among other remedies set forth in this Agreement, withhold future Certificate of Occupancies issued for the Property.
9. **NOTIFICATION INFORMATION.** All notices, requests, consents, claims, demands, waivers, and other communications hereunder (hereinafter each referred to as a “Notice”) shall be in writing and shall be deemed to have been given (a) when delivered by hand (with written confirmation of receipt); or (b) when received or rejected by the addressee if sent by a nationally recognized overnight courier (receipt requested); or (c) when received or rejected by the addressee if sent by United States Postal Service (receipt requested); provided, that notices may be sent by e-mail where expressly permitted by this Agreement. Notices must be sent to the respective Parties at the following addresses (or at such other address for a Party as shall be specified in a Notice given in accordance with this Section):

If to City:

City of Maple Grove  
Attn: City Clerk  
12800 Arbor Lakes Parkway  
Maple Grove, MN 55311  
Email: [adietl@maplegrovern.gov](mailto:adietl@maplegrovern.gov)

With copy to:

Hoff Barry, P.A.  
Attn: Scott B. Landsman  
100 Prairie Center Drive, Ste. 200  
Eden Prairie, MN 55344  
Email: [slandsman@hoffbarry.com](mailto:slandsman@hoffbarry.com)

If to Developer:

Palisades at Nottingham Development, LLC  
Eric Zehnder  
14240 23rd Ave N  
Plymouth, MN 55447  
Email: [ericzehnder@zehnderhomes.com](mailto:ericzehnder@zehnderhomes.com)

10. **PROOF OF TITLE/CITY ATTORNEY REQUIREMENTS.** The Developer

shall provide a platting title commitment as required by Minn. Stat. §505.03. The above-mentioned evidence of title shall be subject to the review and approval of the City Attorney to determine the entities must execute the Final Plat and other documents to be recorded against the Property. Further, Developer shall provide the City with evidence, which sufficiency shall be determined by the City, that all documents required to be recorded pursuant to this Resolution and by the City Attorney are recorded and all conditions for release of the Final Plat have been met prior to the City processing or approving any building permits or other permits applicable to the development of the Property.

11. **CLUSTER BOX UNIT REQUIREMENTS.** The Developer shall install cluster box units as required by the United States Postal Service (hereinafter the cluster box units and the area near and adjacent to allow its reasonable use referred to as the “CBU”). The Plans shall be modified prior to release of the Final Plat, subject to the review and approval of the City Engineer, to comply with the requirements of the United States Postal Service for the CBU.

12. **MISCELLANEOUS.**

- a. Attorney’s Fees. If any action is brought to enforce the terms of this Agreement and the City prevails, Developer will pay the City’s costs and reasonable attorneys' fees to be fixed by the Court.
- b. Agreement Effect. The terms and conditions of this Agreement shall be binding on and inure to the benefit of the Parties hereto, their respective successors and assigns and the benefits and burdens shall run with the Property. Developer shall record this Agreement against the title to the Property along with the recording of the Final Plat. Developer warrants and guarantees that this Agreement shall have priority on the property records over any other lien or encumbrance. Developer shall provide the City with evidence, which sufficiency shall be determined by the City, that this Agreement is recorded and all conditions herein have been satisfied prior to the City processing or approving any building permits or other permits applicable to the development of the Property.
- c. Governing Law. It is agreed that this Agreement shall be governed by, construed, and enforced in accordance with the laws of the State of Minnesota.
- d. No Third-Party Beneficiaries. This Agreement is for the sole benefit of the Parties and their respective successors and assigns and nothing herein, express or implied, is intended to or shall confer upon any other person or entity any legal or equitable right, benefit, or remedy of any nature whatsoever under or by reason of this Agreement.
- e. Headings. The headings in this Agreement are for reference only and shall

not affect the interpretation of this Agreement.

- f. Time is of the Essence. Time is of the essence in the performance of the terms and obligations of this Agreement.
- g. Modification. Any modification of this Agreement or additional obligation assumed by either Party in connection with this Agreement shall be binding only if evidenced in writing signed by each Party or an authorized representative of each Party.
- h. Warrant of Authority. Developer warrants and guarantees that it has the authority to enter into this Agreement and to make it a covenant on the Property binding all current and future owners.
- i. Compliance with City Code §36-64(b)(5). Pursuant to City Code §36-64(b)(5), the Developer shall make application for and receive (on the condition that the Developer complies with the requirements of the City Resolutions, this Agreement and City Code) a building permit and construction activities on the Property shall commence, pursuant to the Plans, this Agreement, the City Resolutions and City Code on or before \_\_\_\_\_, 20\_\_\_\_. In such event of failure of the Applicant to meet the above time frame, the Plans, the City Resolutions, this Agreement and the approvals there under for the development of the Property shall become null and void with no further action required by either Developer or City.
- j. Data Practices Compliance. Developer may have access to data collected or maintained by the City to the extent necessary to perform Developer's obligations under this Agreement. Developer agrees to maintain all data obtained from the City in the same manner as the City is required under the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13 or other applicable law (hereinafter referred to as the "Act"). Developer will not release or disclose the contents of data classified as not public to any person except at the written direction of the City. Upon receipt of a request to obtain and/or review data as defined in the Act, Developer will immediately notify the City. The City shall provide written direction to Developer regarding the request within a reasonable time, not to exceed ten (10) days. The City agrees to indemnify, hold harmless and defend Developer for any liability, expense, cost, damages, claim, and action, including attorneys' fees, arising out of or related to Developer's compliance with the City's direction. Subject to the aforementioned, Developer agrees to defend, indemnify and hold harmless the City from any claim, liability, damage or loss asserted against the City as a result of Developer's failure to comply with the requirements of the Act and the direction of the City. Upon termination and/or completion of the development of the Property, Developer agrees to return all data to the City, as requested by the City.

- k. Non-Waiver. The action or inaction of the City shall not constitute a waiver or amendment of the provisions of this Agreement. The waiver by or the failure of the City to enforce any particular section, portion or requirement of this Agreement at any particular time shall not in any way constitute a waiver of any other section, provision, requirement, time element, or the right to enforce such provision at a subsequent time. To be binding, any amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Agreement shall not be a waiver or release.
- l. Cumulative Rights. Each right, power, or remedy herein conferred upon the City is cumulative and in addition to every other right, power, or remedy, express or implied, now or hereinafter arising, available to the City, at law or in equity, or under any other agreement, and each and every right, power, and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City and will not be a waiver of the right to exercise at any time thereafter any other right, power, or remedy.

***The remainder of this page intentionally left blank; signature pages follow***

**IN WITNESS WHEREOF**, the Parties herein have executed this Agreement as of the Effective Date.

**CITY OF MAPLE GROVE,**  
A Minnesota municipal corporation

BY: \_\_\_\_\_  
Mayor

AND: \_\_\_\_\_  
City Clerk

STATE OF MINNESOTA     )  
COUNTY OF HENNEPIN    )ss.  
CITY OF MAPLE GROVE    )

On this \_\_\_\_ day of \_\_\_\_\_, 2021, before me personally appeared Mark Steffenson and Amy Dietl to me known to be the persons described in the foregoing instrument and who did say they are, respectively, the Mayor and City Clerk of the CITY OF MAPLE GROVE, Minnesota, a municipal corporation, and that the seal affixed to said instrument is the corporate seal of said municipal corporation, and that said instrument was signed and sealed on behalf of said municipal corporation by authority of its City Council, and said Mark Steffenson and Amy Dietl acknowledged said instrument to be the free act and deed of said corporation.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_,  
a \_\_\_\_\_

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF MINNESOTA    )  
  ) SS.  
COUNTY OF HENNEPIN    )

        This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 2021,  
by \_\_\_\_\_, the \_\_\_\_\_ of \_\_\_\_\_, a  
\_\_\_\_\_, on behalf of said \_\_\_\_\_.

\_\_\_\_\_  
Notary Public



## **EXHIBIT 1**

*[insert legal description based on Final Plat]*

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

**3G**

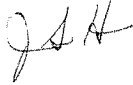
**AGENDA ITEM**

**ORIGINATING DEPT.**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Community and Economic  
Development



The Grove 15715 Grove Circle  
Planned Unit Development  
Non-Residential  
Development Stage Plan  
Resolution No. 21-045



### PREVIOUS ACTIONS:

At their meeting of Monday, April 5, 2021, the City Council directed the City Attorney to draft a Planned Unit Development agreement and a Resolution approving The Grove 15715 Grove Circle PUD development stage plan, subject to:

1. The applicant addressing to the satisfaction of the city any remaining applicable comments contained in the memorandums from:
  - a. The Transportation Operations Engineer dated March 3, 2021
  - b. The Fire Department dated March 8, 2021
  - c. The Water Resources Engineer dated February 26, 2021
  - d. The Parks & Recreation Department, dated March 3, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

At their meeting of Monday, March 29, 2021, the Planning Commission recommend that the City Council direct the City Attorney to draft a Resolution and a Planned Unit Development agreement approving The Grove 15715 Grove Circle PUD development stage plan, subject to the comments contained in the memorandums listed above.

Applicant:	TLH Holdings
Application Received:	February 22, 2021
60 Day Review Deadline:	April 23, 2021
Address:	15715 Grove Circle

### RECOMMENDED COUNCIL ACTION:

Motion to adopt the Resolution No. 21-045 approving The Grove 15715 Grove Circle PUD development stage plan subject to:

1. Planned Unit Development agreement final review and approval of the City Attorney and the Director of Community & Economic Development.

Jesse Corrow, Project Manager – X6047  
The Grove 15715 Grove Circle  
Planned Unit Development Non-Residential  
Request for Council Action  
April 19, 2021  
Page 2

**(Simple majority vote for passage)**

---

**COMMENTS:**

Attached is Resolution No. 21-045 approving The Grove 15715 Grove Circle PUD development stage plan and PUD agreement.

**ATTACHMENTS:**

Attachment A: Resolution No. 21-045  
Attachment B: Planned Unit Development Agreement

**RESOLUTION NO. 21-045**

**CITY OF MAPLE GROVE**

**RESOLUTION GRANTING PLANNED UNIT DEVELOPMENT -  
DEVELOPMENT STAGE PLAN FOR PROPERTY LOCATED AT  
15715 GROVE CIRCLE, MAPLE GROVE, MINNESOTA**

WHEREAS, TLH Holdings (hereinafter referred to as the “**Applicant**”), has made application for a Planned Unit Development (hereinafter referred to as “**PUD**”) – Development Stage Plan approval (hereinafter collectively referred to as the “**Application**”) for property located at 15715 Grove Circle, Maple Grove, Minnesota and shown on attached Exhibit A (hereinafter referred to as the “**Property**”); and

WHEREAS, the City staff studied the matter, made a report, and provided other information to the Planning Commission and City Council; and

WHEREAS, the City Planning Commission considered the Application at its March 29, 2021 meeting and recommended approval; and

WHEREAS, the City Council considered the Application at its April 5, 2021 meeting, received the recommendation from the Planning Commission, report from City staff and other information.

NOW, THEREFORE, the City Council of the City of Maple Grove makes the following:

**FINDINGS**

- A. The Applicant seeks approval for PUD – Development Stage Plan for the purpose of constructing an approximately 5,937 square foot 1-story medical office building on the Property.
- B. The Applicant has submitted, for the City Council’s review and approval, the PUD – Development Stage Plan plans for the Property drafted by DJR Architecture, Inc., dated March 23, 2021, consisting of: Sheet C1 – Existing Conditions; Sheet C2 – Demolition Plan; Sheet C3 – Site Plan; Sheet C4 – Grading, Drainage & Erosion Control Plan; Sheet C5 – Utility Plan; Sheet C6 – Civil Details 1; Sheet C7 – Civil Details 2; and Sheet C8 – Planting Plan (hereinafter referred to as the “**Plans**”). The Plans also include the color renderings and elevations presented to the City Council.
- C. The Property is zoned PUD, Planned Unit Development. The land surrounding the Property is zoned PUD.

- D. Minnesota Statutes §462.357 grants to the City, for the purpose of promoting the public health, safety, morals and general welfare, the authority to regulate use of land within the City through zoning regulations.
- E. City Code §36-61 states:

A PUD is intended to allow variation from the strict literal provisions of this chapter, including, but not limited to, requirements relating to setbacks, height, floor area, floor area ratio, lot area, width, depth, and yards. If a proposed development is approved by the city as a PUD as provided in this section, then the dimensions of the PUD as approved shall be deemed to be in compliance with all of the dimensional requirements of this chapter, including setbacks, height, floor area, floor area ratio, lot area, lot width, lot depth and yards.
- G. City Code §36-61 further provides that a PUD is intended to result in a development in which the living or working environment is better than could otherwise have been achieved through strict enforcement of the dimensional requirements of other applicable sections of this chapter, or, in this case, a change from the approved PUD.
- H. The Plans provide for the development of an approximately 5,937 square foot medical office building on the Property. The proposed development is in harmony with the objectives of the City's comprehensive plan. Strict application of the zoning regulations would not allow for the use proposed in the Application. The Plans comply with City Code and are not detrimental to and comport with the surrounding properties on the condition that the Plans are subject to and meet the conditions of this Resolution.

#### DECISION

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Maple Grove and based upon the information received and the above Findings:

1. The City Council does hereby conditionally approve the Application and the Plans for a PUD - Development Stage Plan to develop the Property with an approximately 5,937 square foot medical office building, subject to the conditions set forth in Paragraph 2 below that must be met, to the satisfaction of the City, prior to the issuance of any permits for the development of the Property, unless otherwise expressly stated.
2. The following conditions must be met to the satisfaction of the City prior to the issuance of any permits for the development of the Property, unless otherwise expressly stated:

- a. The approvals granted by this Resolution are subject to the completion of and compliance with all ministerial matters set forth in City Ordinance Code and required by the City, including, but not limited to, those of Engineering, Planning, Administrative and Legal Departments, *e.g.*, title examination, execution of Applicant's Agreement, filing of letters of credit, and payment of fees. City Code §30-21.
- b. Any signage on the Property is not part of the approvals granted by this Resolution and a separate application shall be required. This is not a requirement for the issuance of permits for the development of the Property.
- c. The Plans shall be modified as provided below subject to the review and approval of the City Engineer:
  - i. The Plans provide that a portion of the existing driveway "throat" on the south side, be shortened to provide four (4) additional "head-in" parking spaces on the north side of the proposed building. These additional "head-in" parking spaces will introduce undesirable and unanticipated conflicts between entering vehicles from Hospital Drive and vehicles maneuvering in/out of these parking spaces. The Plans shall be modified to remove these four additional parking spaces.
  - ii. The Plans shall be modified to provide for ADA compliant curb ramps to be added where the proposed sidewalks meet the existing right-in/right-out access to the north, and the existing full access to the south.
  - iii. The Plans shall be modified to provide for the existing median nose in the center of the full access located to the south of the proposed building to be modified to accommodate pedestrian traffic crossing the private access driveway.
  - iv. The Plans shall be modified to provide for the existing sidewalk that currently connects to the east curb line along Hospital Drive be removed and restored as boulevard area between the back of curb and the proposed sidewalk.
  - v. The Plans at Sheet C4 shall be modified to provide for the labeling of existing catch basins with RIM and inverts.
  - vi. The Plans at Sheet C4 shall be modified to provide for CB near the northwest corner of building, call out EOF.

- vii. The Plans at Sheet C5 shall be modified to provide for the labeling of existing catch basins with RIM and inverts.
  - viii. The Applicant shall execute a Stormwater Facility Maintenance Agreement and said agreement must be recorded against the Property.
- d. The Plans shall be modified as provided below subject to the review and approval of the City Fire Chief:
- i. The Plans shall be modified to provide for the Fire Department Connection to be shown that must comply with the Minnesota State Fire Code as amended by the City Code.
  - ii. The Plans shall be modified to have any combination water service lines comply with City Code Chapter 18, Article III and FPB-Policy 3.
  - iii. The Plans shall be modified to provide for a fire pump and sprinkler riser room in compliance with the Minnesota State Fire Code as amended by the City Code.
  - iv. New water flow tests shall be conducted for all new systems prior to the issuance of a certificate of occupancy. Two hydrants shall be used which are closest to the Property. The static pressure shall be measured on the hydrant in front of/or nearest the Property and the water allowed to flow from the next hydrant nearest the Property, preferably the one farthest from the source of the supply if the feed is only one way. The residual pressure will be that indicated at the hydrant where the water is not flowing. The Applicant shall contact a representative from the City Utility Department prior to the test at 763-494-6177. The Fire Prevention Bureau shall be notified with the date, time and address of the flow test at least 12 hours in advance.
  - v. The Plans shall be modified to meet the following requirements regarding the location and general requirements for fire hydrants:
    - 1. Hydrants shall be located within a reasonable distance from driving surface; five feet minimum from curb (fire department access). If hydrant is located in a safety island and cannot be located back five (5) feet from the curb, the hydrant shall be centered in the safety island. It is the fire department's preference to locate a fire

hydrant along the driveway entrance, unless only one fire hydrant is being installed and needs to be located closer to the fire department connection. NFPA 14, Section 3-13.1. A five (5) foot clear space shall be maintained around the circumference of fire hydrants except as otherwise required or approved. Hydrants shall be at least fifteen (15) feet away from all utilities except as otherwise required or approved. Hydrants and valves shall not be located closer than 40 feet from the building. NFPA 14, Section 3-13.2.

2. Double steamers shall be utilized on all hydrants. NFPA 14, 3-13.1. Double steamers on fire hydrants shall be aligned so that steamers are facing the fire department access road. NFPA 14, Section 3-13.1.
3. Hydrants, gate valves, and valve boxes, etc., and installation of said, shall be in accordance with City specifications. NFPA 14, Section 3-13.1.
4. Hydrants shall be protected if subject to mechanical damage. 2020 MSFC, Section 507.5.6.
5. Pipe shall not be run under buildings. NFPA 24, Section 8-3.1.
6. Underground piping to be flushed and tested in accordance with NFPA 24. Contractor's Material & Test Certificate for Underground Piping is required. NFPA 24, 9-2.1.
7. A minimum of a five (5) foot in width by five (5) foot in depth clear space is required around fire department connections. A minimum of ten (10) feet separation shall be provided between the fire department connection and all utilities.
8. Locking caps are required on all fire department connections serving water-based fire protection systems.
9. All buildings must have an approved fire lane within thirty (30) feet of at least one entire side of the structure as identified by the fire code official.



10. Knox or DAMA Corporation are the approved key box vendors. Key box shall be located above the fire department connection in sprinkled buildings at five (5) feet above finished grade or as approved by the fire code official. Additional boxes may be provided at more than one location when required because of the size of the building, number of keys, or other special hazard.
  11. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background. All commercial occupancy addresses shall be a minimum of eight (8) inches in height. Approved numbers or addresses shall be placed on all construction sites in such a way as to be plainly visible and legible from the street or road fronting the Property.
- e. An irrigation reduced pressure zone (hereinafter referred to as “**RPZ**”) is required for any irrigation systems and must be installed by the Applicant and/or eventual lot owner and tested in accordance with the Minnesota Department of Health Guidelines for Designing Backflow Prevention Assembly Installations (hereinafter referred to as “**Guidelines**”). The initial test results and certification shall be submitted to the City of Maple Grove Public Works Department. Subsequently, the RPZ must be tested, per the Guidelines, at least annually by a certified tester with the results reported to the City of Maple Grove Building Department and the RPZ must be rebuilt as needed in accordance with the Guidelines. Test/rebuilt reports shall be mailed or faxed to the City of Maple Grove Building Department at (763) 494-6424. The irrigation system shall be designed and the Plans shall be modified accordingly, prior to the issuance of any permits for the development of the Property, to accommodate a 1-inch water meter and a maximum flow of 50 gallons per minute. This is not a condition of release of the Final Plat, but an on-going requirement, that will be a term and obligation within the PUD Agreement (see PUD Agreement requirement below).
  - f. The Applicant shall enter into a Site Improvement Performance Agreement (hereinafter referred to as “**SIPA**”), if required by the City Community Development Director, drafted by the City, which SIPA shall establish site improvement items and terms of completion of said items. Under the SIPA, a surety shall be provided to the City for two full growing seasons to guaranty the proper installation and growth of all landscaping items.

- g. The Applicant shall enter into a PUD agreement (hereinafter referred to as “**PUD Agreement**”), drafted by the City, memorializing the Applicant’s obligations under this Resolution and City Code. The PUD Agreement shall be recorded against and run with the Property. The City will not issue any permits for the development of the Property prior to being provided recording information for the PUD Agreement.
- h. The Applicant shall, if required by the City Engineer, execute a Developer’s Agreement, drafted by the City, ensuring, among other things, the construction of and payment for public improvements and private improvements, the payment of special assessments and the establishment of sureties required by the City.
- i. Construction on the Property shall, at all times, comply with the Plans, this Resolution, previous and subsequent approvals, and local, state, and federal rules and regulations.
- j. Maintenance of the Property shall, at all times, comply with the Plans, this Resolution, previous and subsequent approvals, and local, state, and federal rules and regulations.
- k. The Applicant shall make application for and receive (on the condition that the Applicant complies with the requirements of this Resolution and City Code) a building permit and construction activities on the Property shall commence, pursuant to the Plans, this Resolution and City Code, in compliance with City Code §36-64(b)(5). In such event of failure of the Applicant to meet the above time frame, the approvals granted by this Resolution, the Plans and any development there under shall expire and terminate with no further action of the City Council.

Motion to approve the foregoing findings, conclusions, and decisions was made by \_\_\_\_\_ and seconded by \_\_\_\_\_, upon a vote being duly taken thereon, the following voted in favor thereof:

and the following were against:

and the following were absent:

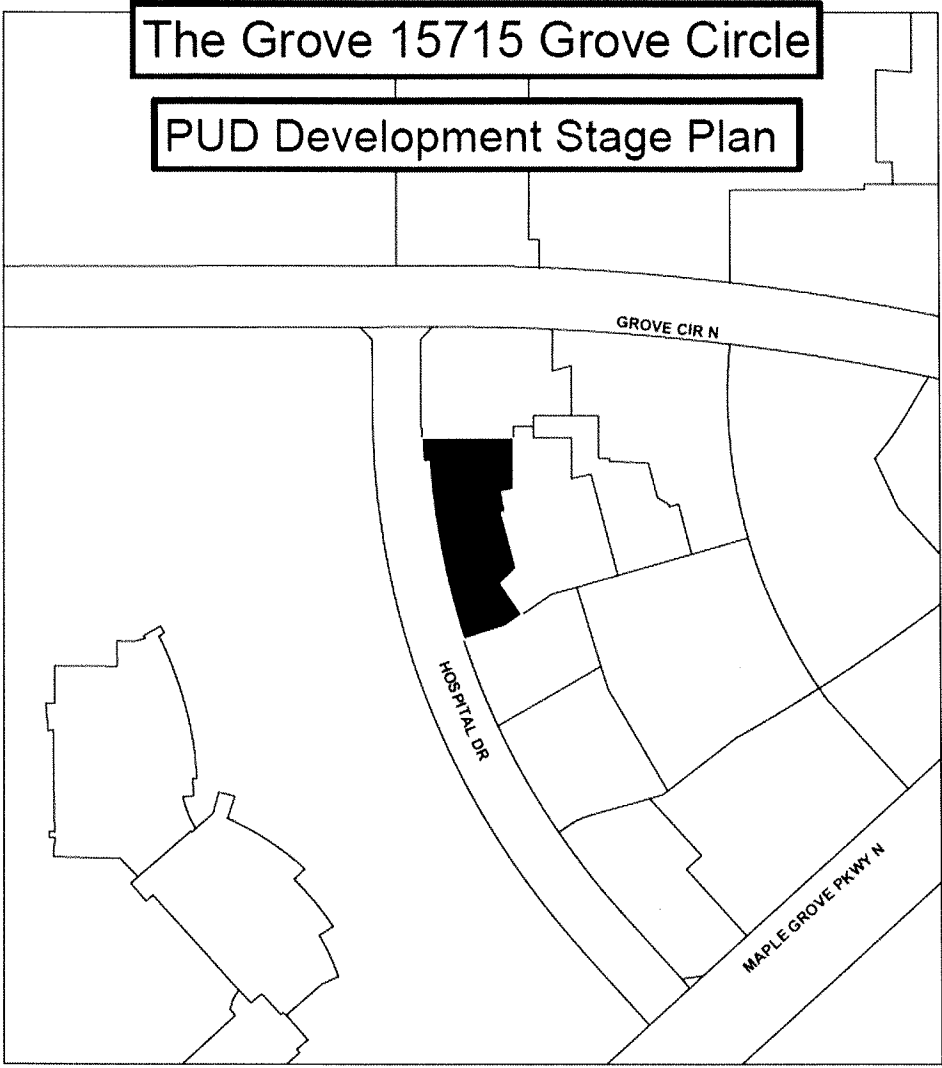
whereupon, the resolution was declared duly passed and adopted the 19<sup>th</sup> day of April, 2021.

STATE OF MINNESOTA )  
COUNTY OF HENNEPIN ) SS.  
CITY OF MAPLE GROVE )

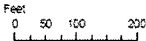
I, the undersigned, being the duly qualified and acting Clerk of the City of Maple Grove, Hennepin County, Minnesota, a Minnesota municipal corporation, hereby certify that the above and foregoing Resolution No. 21-045 is a true and correct copy of the Resolution as adopted by the City Council on the 19<sup>th</sup> day of April, 2021.

\_\_\_\_\_  
City Clerk

EXHIBIT A



NEIGHBORHOOD LOCATION MAP



This Instrument Drafted By:  
Hoff Barry, P.A. (SBL)  
100 Prairie Center Drive, Suite 200  
Eden Prairie, MN 55344

**PLANNED UNIT DEVELOPMENT AGREEMENT  
15715 GROVE CIRCLE**

**THIS PLANNED UNIT DEVELOPMENT AGREEMENT 15715 GROVE CIRCLE** (hereinafter referred to as “**Agreement**”) is entered into this \_\_\_\_ day of \_\_\_\_, 2021 (hereinafter referred to as the “**Effective Date**”), by and between TLH Holdings, (hereinafter referred to as “**Developer**”) and the CITY OF MAPLE GROVE, a Minnesota municipal corporation (hereinafter referred to as “**City**” Developer and City sometimes individually referred to as “**Party**” and collectively “**Parties**”).

**RECITALS:**

**WHEREAS**, Developer is the fee owner and intends to develop a parcel or parcels of land lying within the City and legally described on attached Exhibit 1 (hereinafter referred to as the “**Property**”); and

**WHEREAS**, on April 19, 2021, the City Council passed Resolution No. 21-045 conditionally approving the Planned Unit Development (hereinafter referred to as “**PUD**”) – Development Stage Plan for the Property, which approval consists of the plans for the Property drafted by DJR Architecture, Inc., dated March 23, 2021, consisting of: Sheet C1 – Existing Conditions; Sheet C2 – Demolition Plan; Sheet C3 – Site Plan; Sheet C4 – Grading, Drainage & Erosion Control Plan; Sheet C5 – Utility Plan; Sheet C6 – Civil Details 1; Sheet C7 – Civil Details 2; and Sheet C8 – Planting Plan (hereinafter referred to as the “**Plans**”). The Plans also include the color renderings and elevations presented to the City Council; and

**WHEREAS**, this Agreement is entered into for the purpose of setting forth and memorializing the understandings and agreements of the parties concerning the use of the Property as a PUD and in accordance with City Resolutions (defined below), previous approvals, and matters which are required by the City, and City Code, so that subsequent owners of the Property may know the limitations and obligations of the parties concerning the Property.

**NOW, THEREFORE**, it is hereby and herein mutually agreed, in consideration of promises and considerations of City and Developer herein set forth, as follows:

1. **INCORPORATION.** The above Recitals, Resolution No. 21-045 (hereinafter referred to as the “**City Resolutions**”), the Plans, and all exhibits attached to this Agreement are a material part of this Agreement and are incorporated herein.
2. **ZONING.** The Property is zoned PUD. The zoning governing the Property shall be the City Resolutions, the Plans, this Agreement, and applicable sections of City Code.
3. **DEVELOPMENT; CONSTRUCTION; MAINTENANCE.** Development of, construction on and maintenance of the Property shall be done in accordance with and shall comply, at all times, with the Plans, the City Resolutions, this Agreement and all applicable sections of the City Code and other governmental rules and regulations.
4. **PLANNED UNIT DEVELOPMENT REQUIREMENTS.** Unless otherwise expressly provided for in this Agreement, the Developer shall comply with, to the satisfaction of the City, all of the requirements set forth in the City Resolutions, including, but not limited to, Section 2 of the City Resolutions, to the satisfaction of the City and prior to the issuance of any permits for the development of the Property.
5. **SITE IMPROVEMENT PERFORMANCE AGREEMENT.** The Developer shall enter into a Site Improvement Performance Agreement (hereinafter referred to as “**SIPA**”) drafted by the City and before any permits for the development of Property are issued, which SIPA shall establish site improvement items and terms of completion of said items. Under the SIPA, a surety shall be provided to the City for two full growing seasons to guaranty the proper installation and growth of all landscaping items.
6. **IRRIGATION.** An irrigation reduced pressure zone (hereinafter referred to as “**RPZ**”) is required for any irrigation systems and must be installed by the Developer and/or eventual lot owner and tested in accordance with the Minnesota Department of Health Guidelines for Designing Backflow Prevention Assembly Installations (hereinafter referred to as “**Guidelines**”). The initial test results and certification shall be submitted to the City of Maple Grove Public Works Department. Subsequently, the RPZ must be tested, per the Guidelines, at least annually by a certified tester with the results reported to the City of Maple Grove Building Department and the RPZ must be rebuilt as needed in accordance with the Guidelines. Test/rebuilt reports shall be mailed or faxed to the City of Maple Grove Building Department at (763) 494-6424. The irrigation system shall be designed and the Plans shall be modified accordingly, prior to the issuance of any permits for the development of the Property, to accommodate a 1-inch water meter and a maximum flow of 50 gallons per minute.
7. **DEVELOPER TO PAY ALL COSTS.** Developer shall pay, within thirty

(30) days of demand, all reasonable expenses that the City incurs in direct relation to the development of the Property and this Agreement. Said expenses shall include, but are not limited to, staff, engineering, legal and other consulting fees reasonably incurred in relation to this Agreement.

7. **VIOLATION OF AGREEMENT.** In the event the Developer, or its respective successors or assigns, violates any of the covenants or agreements herein contained, and such violation is not corrected, or commenced to be corrected (which correction shall be diligently and promptly pursued and completed), within thirty (30) days after written notice specifying such violation, and unless a different cure period applies pursuant to another section of this Agreement, the City is hereby granted the right and privilege to declare a default in any or all of the terms of this Agreement, pursue any remedies at law or equity, which include, but are not limited to, termination of this Agreement and the approvals granted under the City Resolutions.
8. **CERTIFICATE OF OCCUPANCY.** No Certificate of Occupancy shall be issued for any building constructed on any lot within the Property until the Developer has complied with all of the terms of this Agreement and the City Resolutions with respect to the Property. If Developer is in default under this Agreement, City may, among other remedies set forth in this Agreement, withhold future Certificates of Occupancy issued for the Property.
9. **PROOF OF TITLE/CITY ATTORNEY REQUIREMENTS.** The Developer shall provide evidence of title, as required to by the City Attorney, to determine the entities that must execute this Agreement and other documents to be recorded against the Property. Further, Developer shall provide the City with evidence, which sufficiency shall be determined by the City, that all documents required to be recorded pursuant to this Agreement and by the City Attorney are recorded and all requirements for the issuance of permits for the development of the Property authorized by the City Resolutions have been met prior to the City processing or approving any permits for the development of the Property.
10. **MAINTAIN PUBLIC PROPERTY DAMAGED OR CLUTTERED DURING CONSTRUCTION.** Developer agrees to assume full financial responsibility for any damage which may occur to public property including, but not limited to, streets, street subbase, base, bituminous surface, curb, utility system including, but not limited to, watermain, sanitary sewer or storm sewer, when said damage occurs as a result of the activity of the Developer, its agents, employees and contractors which takes place during the development of the Property. Developer further agrees to pay all costs required to repair the streets and/or utility systems damaged or cluttered with debris when occurring as a result of the construction that takes place in the Property by Developer, its agents, employees and contractors. In the event Developer fails to maintain or repair the damaged public property referred to aforesaid, the City shall provide written notice of

such failure to Developer and, if such failure is not cured within thirty (30) days thereafter, Developer hereby agrees that City may, among other remedies, undertake making or causing said damage or clutter to be repaired or cleaned. When City undertakes such repair, Developer shall reimburse City for all of its expenses within thirty (30) days of its billing to Developer.

**11. STREET CLEANING.**

- a. During the development of the Property, Developer shall contract with a street cleaning firm to provide street cleaning services within and immediately adjacent to the Property or include such services in the contract between Developer and its general contractor. A copy of said contract shall be submitted to and approved by City prior to the issuance of a grading permit. This contract shall name City as an authorized agent to order street cleaning services as City deems necessary. The cost of the street cleaning under the contract shall be paid for by Developer.
- b. During development of the Property, Developer shall keep the streets adjoining its development free of dirt and debris caused by its development. In the event dirt and/or debris has accumulated on streets within or adjacent to the Property as a direct result of the development of the Property, City is hereby authorized to immediately commence street cleaning operations if the streets are not cleaned by the Developer by 3:30 PM the day of the violation. If conditions are such that street cleaning operations are immediately necessary, City may perform the necessary street cleaning. When City undertakes such street cleaning, Developer shall reimburse City for all of its expenses within thirty (30) days of its billing to Developer.



12. **NOTIFICATION INFORMATION.** All notices, requests, consents, claims, demands, waivers, and other communications hereunder (hereinafter each referred to as a “**Notice**”) shall be in writing and shall be deemed to have been given (a) when delivered by hand (with written confirmation of receipt); or (b) when received or rejected by the addressee if sent by a nationally recognized overnight courier (receipt requested); or (c) when received or rejected by the addressee if sent by United States Postal Service (receipt requested); provided, that notices may be sent by e-mail where expressly permitted by this Agreement. Notices must be sent to the respective Parties at the following addresses (or at such other address for a Party as shall be specified in a Notice given in accordance with this Section):

If to City:

City of Maple Grove  
Attn: City Clerk  
12800 Arbor Lakes Parkway  
Maple Grove, MN 55311  
Email: adietl@maplegrovmn.gov

With copy to:

Hoff Barry, P.A.  
Attn: Scott B. Landsman  
100 Prairie Center Drive, Ste. 200  
Eden Prairie, MN 55344  
Email: slandsman@hoffbarry.com

If to Developer:

TLH Holdings  
Ben Krsnak  
10050 Crosstown Cir  
Suite 100  
Eden Prairie, MN 55344  
Email: ben@hempelcompanies.com

13. **MISCELLANEOUS.**

- a. **Attorney’s Fees.** If any action is brought to enforce the terms of this Agreement and the City prevails, Developer will pay the City’s costs and reasonable attorneys' fees to be fixed by the Court.
- b. **Agreement Effect.** The terms and conditions of this Agreement shall be

binding on and inure to the benefit of the Parties hereto, their respective successors and assigns and the benefits and burdens shall run with the Property. Developer shall record this Agreement against the title to the Property along with the recording of the Final Plat. Developer warrants and guarantees that this Agreement shall have priority on the property records over any other lien or encumbrance. Developer shall provide the City with evidence, which sufficiency shall be determined by the City, that this Agreement is recorded and all conditions herein have been satisfied prior to the City processing or approving any building permits or other permits applicable to the development of the Property.

- c. Governing Law. It is agreed that this Agreement shall be governed by, construed, and enforced in accordance with the laws of the State of Minnesota.
- d. No Third-Party Beneficiaries. This Agreement is for the sole benefit of the Parties and their respective successors and assigns and nothing herein, express or implied, is intended to or shall confer upon any other person or entity any legal or equitable right, benefit, or remedy of any nature whatsoever under or by reason of this Agreement.
- e. Headings. The headings in this Agreement are for reference only and shall not affect the interpretation of this Agreement.
- f. Time is of the Essence. Time is of the essence in the performance of the terms and obligations of this Agreement.
- g. Modification. Any modification of this Agreement or additional obligation assumed by either Party in connection with this Agreement shall be binding only if evidenced in writing signed by each Party or an authorized representative of each Party.
- h. Warrant of Authority. Developer warrants and guarantees that it has the authority to enter into this Agreement and to make it a covenant on the Property binding all current and future owners.
- i. Compliance with City Code Section 36-64(b)(5). Pursuant to City Code Section 36-64(b)(5), the Developer shall make application for and receive (on the condition that the Developer complies with the requirements of the City Resolutions, this Agreement and City Code) a building permit and construction activities on the Property shall commence, pursuant to the Plans, this Agreement, the City Resolutions and City Code, on or before April 19, 2023. In such event of failure of the Applicant to meet the above time frame, the Plans, the City Resolutions, this Agreement and the approvals there under for the development of the Property shall become null and void with no further action required by either Developer or City.

- j. Data Practices Compliance. Developer may have access to data collected or maintained by the City to the extent necessary to perform Developer's obligations under this Agreement. Developer agrees to maintain all data obtained from the City in the same manner as the City is required under the Minnesota Government Data Practices Act, Minnesota Statutes Chapter 13 or other applicable law (hereinafter referred to as the "Act"). Developer will not release or disclose the contents of data classified as not public to any person except at the written direction of the City. Upon receipt of a request to obtain and/or review data as defined in the Act, Developer will immediately notify the City. The City shall provide written direction to Developer regarding the request within a reasonable time, not to exceed ten (10) days. The City agrees to indemnify, hold harmless and defend Developer for any liability, expense, cost, damages, claim, and action, including attorneys' fees, arising out of or related to Developer's compliance with the City's direction. Subject to the aforementioned, Developer agrees to defend, indemnify and hold harmless the City from any claim, liability, damage or loss asserted against the City as a result of Developer's failure to comply with the requirements of the Act and the direction of the City. Upon termination and/or completion of the development of the Property, Developer agrees to return all data to the City, as requested by the City.
- k. Non-Waiver. The action or inaction of the City shall not constitute a waiver or amendment of the provisions of this Agreement. The waiver by or the failure of the City to enforce any particular section, portion or requirement of this Agreement at any particular time shall not in any way constitute a waiver of any other section, provision, requirement, time element, or the right to enforce such provision at a subsequent time. To be binding, any amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Agreement shall not be a waiver or release.
- l. Cumulative Rights. Each right, power, or remedy herein conferred upon the City is cumulative and in addition to every other right, power, or remedy, express or implied, now or hereinafter arising, available to the City, at law or in equity, or under any other agreement, and each and every right, power, and remedy herein set forth or otherwise so existing may be exercised from time to time as often and in such order as may be deemed expedient by the City and will not be a waiver of the right to exercise at any time thereafter any other right, power, or remedy.

*The remainder of this page intentionally left blank; signature pages follow*

**IN WITNESS WHEREOF**, the Parties herein have executed this Agreement as of the Effective Date.

**CITY OF MAPLE GROVE,**  
A Minnesota municipal corporation

BY: \_\_\_\_\_  
Mayor

AND: \_\_\_\_\_  
City Clerk

STATE OF MINNESOTA     )  
COUNTY OF HENNEPIN    )ss.  
CITY OF MAPLE GROVE    )

On this \_\_\_\_ day of \_\_\_\_\_, 2021, before me personally appeared Mark Steffenson and Amy Dietl to me known to be the persons described in the foregoing instrument and who did say they are, respectively, the Mayor and City Clerk of the CITY OF MAPLE GROVE, Minnesota, a municipal corporation, and that the seal affixed to said instrument is the corporate seal of said municipal corporation, and that said instrument was signed and sealed on behalf of said municipal corporation by authority of its City Council, and said Mark Steffenson and Amy Dietl acknowledged said instrument to be the free act and deed of said corporation.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_,  
a \_\_\_\_\_

By: \_\_\_\_\_

STATE OF MINNESOTA    )  
  ) SS.  
COUNTY OF HENNEPIN    )

          This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 2021,  
by       \_\_\_\_\_,                                   the       \_\_\_\_\_ of  
\_\_\_\_\_, a \_\_\_\_\_, on behalf of said  
\_\_\_\_\_.

\_\_\_\_\_  
Notary Public

## **EXHIBIT 1**

Lot 2, Block 1, THE GROVE 8<sup>TH</sup> ADDITION, Hennepin County, Minnesota

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

**3H**

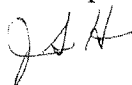
**AGENDA ITEM**

**ORIGINATING DEPT.**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Community and Economic  
Development



The Ridge at Elm Creek  
3<sup>rd</sup> Addition  
Final Plat  
Resolution No. 21-043



### PREVIOUS ACTIONS:

At their meeting of Monday, April 5, 2021, the City Council directed the City Attorney to draft a Resolution approving The Ridge at Elm Creek 3rd Addition final plat.

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

At their meeting of Monday, July 20, 2020, the City Council adopted Resolution No. 20-097 approving the planned unit development agreement and The Ridge at Elm Creek Final Plat subject to the memos listed on the July 20 council action form.

Applicant:	Elm Road South, Inc
Application Received:	February 17, 2021
60 Day Review Deadline:	April 18, 2021
Additional 60 Day Review Deadline:	June 17, 2021
Address:	Elm Road North\Vicksburg Lane North

### RECOMMENDED COUNCIL ACTION:

Motion to adopt Resolution No. 21-043 approving The Ridge at Elm Creek 3rd Addition final plat.

**(Simple majority vote for passage)**

### COMMENTS:

Attached is Resolution No. 21-043 approving The Ridge at Elm Creek 3rd Addition final plat.

### ATTACHMENTS:

Attachment A: Resolution No. 21-043

**RESOLUTION NO. 21-043**

**CITY OF MAPLE GROVE**

**RESOLUTION GRANTING FINAL PLAT APPROVAL FOR  
THE RIDGE AT ELM CREEK 3<sup>rd</sup> ADDITION**

WHEREAS, Elm Road South, Inc. (hereinafter referred to as the “**Applicant**”), has made application for final plat for property located within the City of Maple Grove, legally described as “*Outlots A and D, The Ridge at Elm Creek, Hennepin County, Minnesota*”, and shown on attached Exhibit A (hereinafter referred to as the “**Property**”); and

WHEREAS, the City staff studied the matter, made a report, and provided other information to the City Council; and

WHEREAS, the City Council at its April 5, 2021 meeting has considered the matter.

NOW, THEREFORE, the City Council of the City of Maple Grove makes the following:

**FINDINGS**

- A. On March 16, 2020, the City Council passed Resolution No. 20-042 conditionally approving the Planned Unit Development (hereinafter referred to as “**PUD**”) – Concept Stage, PUD - Development Stage Plan and preliminary plat approval for land that includes the Property.
- B. The Applicant proposes to final plat the second phase of the approved preliminary plat, which final plat consist of 43 single-family residential lots and one HOA amenity lot (total of 44 lots).
- C. The Applicant has submitted, for the City’s review and approval, the final plat of The Ridge at Elm Creek 3<sup>rd</sup> Addition, drafted by Sathre-Bergquist, Inc. (hereinafter referred to as the “**Final Plat**”), which Final Plat is attached hereto as Exhibit B.
- D. The proposed subdivision of the Property is governed by State Statute and City Code Chapter 30.
- E. Minn. Stat. § 462.358, grants the City, for the purpose of protecting and promoting the public health, safety and general welfare, the authority to adopt subdivision regulations providing for the orderly, economic and safe development of land within the City.



F. City Code §30-7 states:

[With exceptions], no conveyance of land shall be filed or recorded if the land is described in the conveyance by metes and bounds, or by reference to an unapproved registered land survey made after April 21, 1961, or if the land is described by reference to an unapproved plat made after February 25, 1954, unless the transaction has been reviewed pursuant to Minn. Stats. § 272.162, if required.

G. The Applicant, pursuant to City Code Chapter 30, has submitted the Final Plat for the City's review and approval.

H. The Final Plat meets the City Code requirements provided it is subject to and meets, to the satisfaction of the City, the conditions set forth in this Resolution.

#### DECISION

NOW, THEREFORE, and based upon the information received and the above Findings it is resolved by the City Council of the City of Maple Grove as follows:

1. That the City Council does hereby conditionally approve the Final Plat and the Mayor and City Clerk are hereby authorized to execute the Final Plat, subject to the conditions set forth below in Paragraph 2 that must be met, to the satisfaction of the City, prior to release of the Final Plat, unless otherwise expressly stated.
2. The following conditions must be met to the satisfaction of the City prior to the release of the Final Plat, unless otherwise expressly stated:
  - a. The approvals granted by this Resolution are subject to the completion of and compliance with all ministerial matters set forth in City Ordinance Code and required by the City, including, but not limited to, those of Engineering, Planning, Administrative and Legal Departments, *e.g.*, title examination, execution of Developer's Agreement, filing of letters of credit, and payment of fees. All construction on the Property shall conform and comply with the Plans, this Resolution, previous approvals and applicable provisions of City Code. City Code §30-21.
  - b. Unless otherwise expressly provided for by this Resolution, the Applicant shall comply with the requirements of Resolution No. 20-042 within the timeframes set forth therein.
  - c. Pursuant to Statute Statute and City Code, the development of this Property requires a land dedication or a cash equivalent based on

the rate approved by the City Council when the Final Plat is released for recording. The current park dedication rate for the City is \$4,332 per Single-Family Residential unit. Assuming the Final Plat is released prior to the City Council adjusting the park dedication rate, the park dedication amount to be paid for the Final Plat shall be \$190,608 (44 units times \$4,332). If the Final Plat is not released prior to the City Council adjusting the park dedication rate, the above-referenced payment shall be adjusted based upon the formula approved by City for the year in which the Final Plat is actually released for filing. The park dedication fee, as set forth above, shall be paid prior to the Final Plat being released for filing at the Hennepin County Government Center.

- d. The Applicant shall provide a platting title commitment as required by Minn. Stat. §505.03. The above-mentioned evidence of title shall be subject to the review and approval of the City Attorney to determine the entities must execute the Final Plat and other documents to be recorded against the Property. Further, Applicant shall provide the City with evidence, which sufficiency shall be determined by the City, that all documents required to be recorded pursuant to this Resolution, previous resolutions and by the City Attorney are recorded and all conditions for release of the Final Plat have been met prior to the City processing or approving any building permits or other permits applicable to the development of the Property.
- e. The Applicant shall pay upon demand all expenses, determined by the City, that the City incurs in relation to this development and Resolution, and shall provide an escrow deposit in an amount to be determined by the City. Said expenses shall include, but are not limited to, staff time, including, but not limited to, hourly wage, overhead and benefits, engineering, legal and other consulting fees incurred in relation to the development.
- f. The Final Plat must be filed and recorded with Hennepin County within two years of the date of this Resolution. If the Final Plat is not timely filed or recorded, this Resolution and all approvals herein shall be void with no further action required by the City Council.

Motion to approve the foregoing findings, conclusions, and decisions was made by \_\_\_\_\_ and seconded by \_\_\_\_\_, upon a vote being duly taken thereon, the following voted in favor thereof:

and the following were against:

and the following were absent:

whereupon, the resolution was declared duly passed and adopted the 19<sup>th</sup> day of April, 2020.

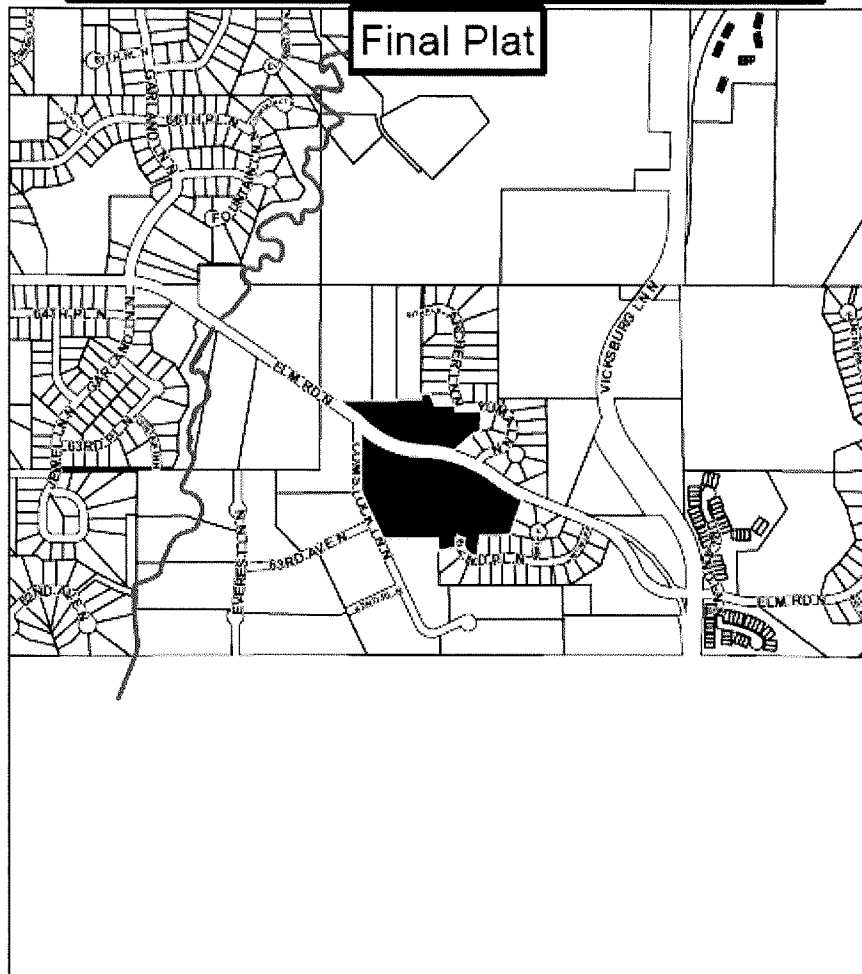
STATE OF MINNESOTA )  
COUNTY OF HENNEPIN ) SS.  
CITY OF MAPLE GROVE )

I, the undersigned, being the duly qualified and acting Clerk of the City of Maple Grove, Hennepin County, Minnesota, a Minnesota municipal corporation, hereby certify that the above and foregoing Resolution No. 21-043 is a true and correct copy of the Resolution as adopted by the City Council on the 19<sup>th</sup> day of April, 2020.

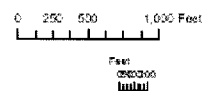
\_\_\_\_\_  
City Clerk

## EXHIBIT A

## The Ridge at Elm Creek 3rd Addition



NEIGHBORHOOD LOCATION MAP

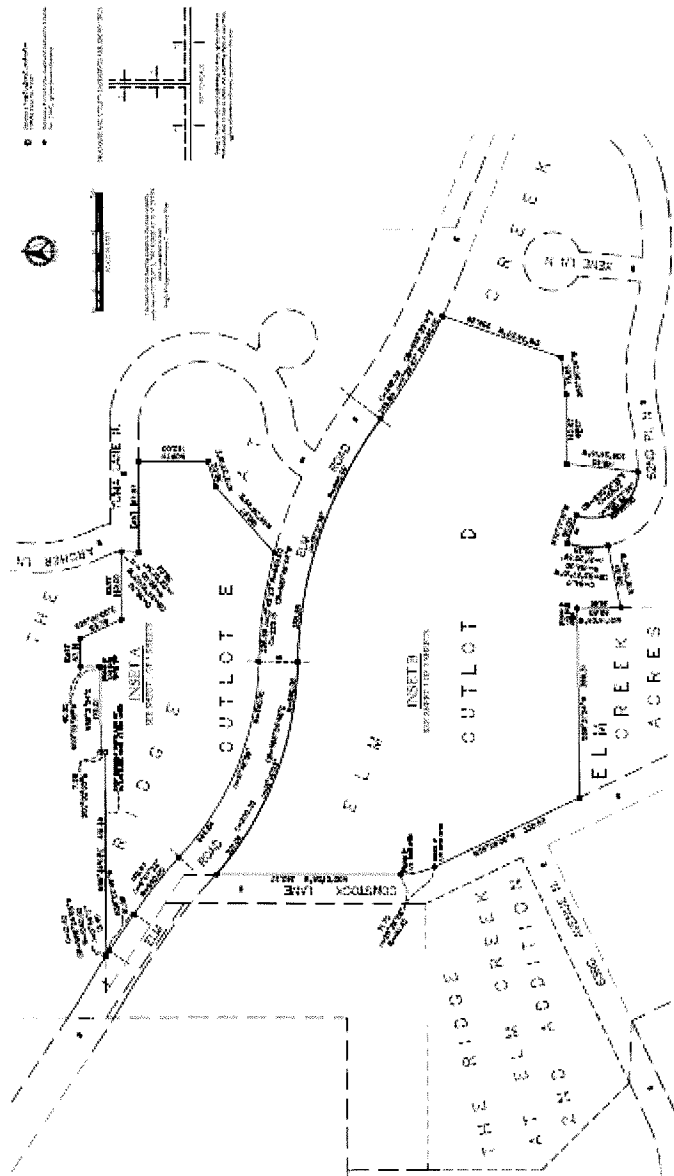
City of  
**Maple Grove**

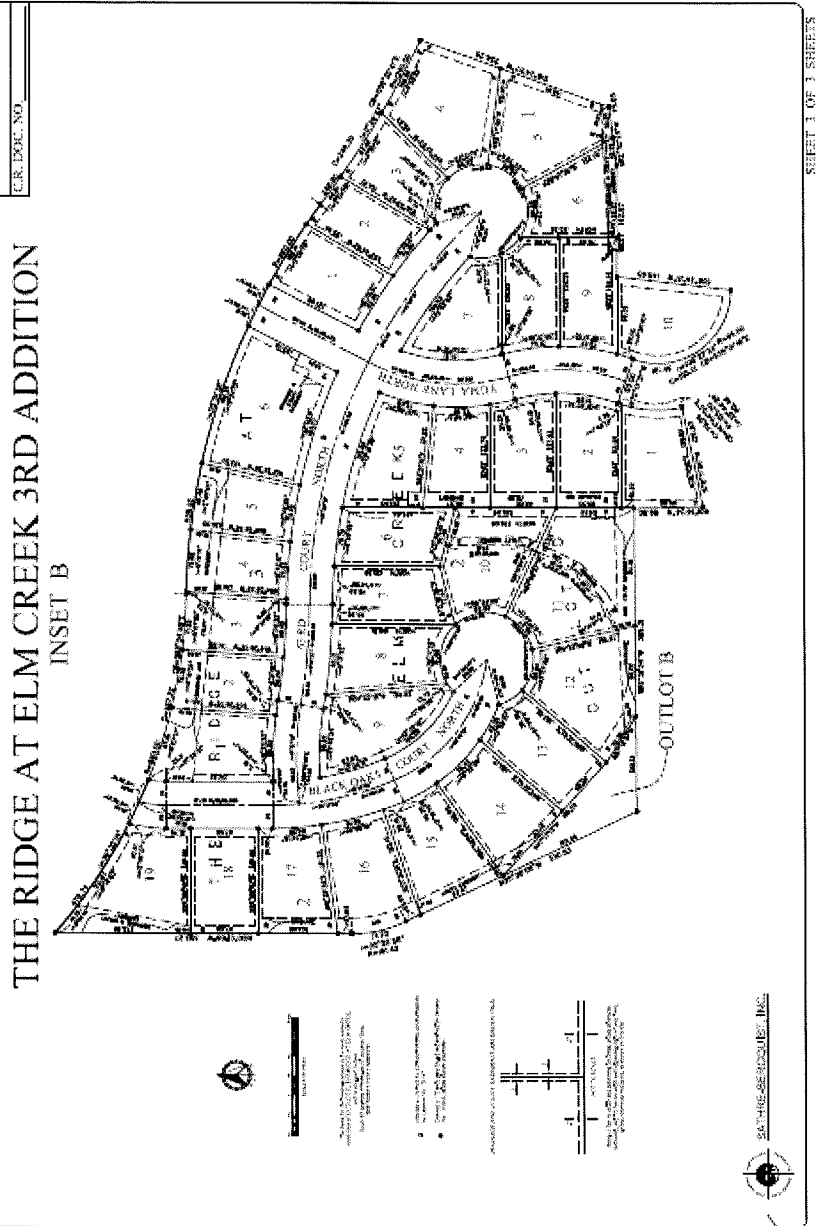
## **EXHIBIT B**



## THE RIDGE AT ELM CREEK 3RD ADDITION

C.R. DOC. NO.







## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

31

**AGENDA ITEM**

**ORIGINATING DEPT**

Jupe Hale, P.E.  
Asst. Public Works Director/  
Asst. City Engineer



**AGENDA ITEM**

Avery Park Street & Utility  
Project No. 21-06  
Award of Contract  
Resolution No. 21-046

**CITY ADMINISTRATOR  
APPROVAL**



---

### PREVIOUS ACTIONS:

Council, at their March 15, 2021 meeting, adopted Resolution No. 21-036 ordering Avery Park Street and Utility Project No. 21-06, receiving surety, ordering and approving plans and specifications, authorizing advertisement for bids and approving Developer's Agreement subject to final review by the City Attorney and Director of Public Works.

---

### RECOMMENDED COUNCIL ACTION:

Motion to adopt Resolution No. 21-046 accepting bid for Avery Park Street and Utility Project No. 21-06.

---

### COMMENTS:

Bids were received for Avery Park Street and Utility Project No. 21-06 on Friday, April 9, 2021 and have been tabulated and reviewed for consistency with the bidding requirements. The following bids were received complying with the advertisements:

	<b><u>CONTRACTOR</u></b>	<b><u>BID TOTALS</u></b>
1	S R Weidema, Inc.	\$1,966,031.05
2	RL Larson	\$2,248,450.15
3	Kuechle	\$2,592,364.90
4	Geislinger	\$2,595,661.90
5	JR Ferche	\$2,747,954.75
6	Northdale	\$2,906,195.41

The low bidder on the project was S R Wediema, Inc. with a Total Base Bid Amount of \$1,966,031.05. This compares favorably to the Engineer's estimate of \$2,695,400.00.

It is recommended that council adopt the attached Resolution No. 21-046 awarding the contract to S R Weidema, Inc. in the amount of \$1,966,031.05.

### ATTACHMENTS

Attachment A: Resolution No. 21-046  
Attachment B: Project Location Map

# Attachment A

## RESOLUTION NO. 21-046

### RESOLUTION ACCEPTING BID FOR AVERY PARK STREET AND UTILITY PROJECT NO. 21-06

---

WHEREAS, pursuant to an advertisement for bids for the improvement of Avery Park Street and Utility Project No. 21-06, bids were received, opened and tabulated according to law, and the following bids were received complying with the advertisement:

	<b><u>CONTRACTOR</u></b>	<b><u>TOTAL BIDS</u></b>
1	S R Weidema, Inc.	\$1,966,031.05
2	RL Larson	\$2,248,450.15
3	Kuechle	\$2,592,364.90
4	Geislinger	\$2,595,661.90
5	JR Ferche	\$2,747,954.75
6	Northdale	\$2,906,195.41

AND WHEREAS, S R Weidema, Inc. of Maple Grove, Minnesota is the lowest responsible bidder.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Maple Grove, Minnesota:

1. The Mayor and Clerk are hereby authorized and directed to enter into a contract with SR Weidema, Inc. of Maple Grove, Minnesota in the name of the City of Maple Grove for the improvement of Avery Park Street and Utility Project No. 21-06 according to the plans and specifications therefore approved by the City Council and on file in the office of the City Clerk.
2. The City Clerk is hereby authorized and directed to return forthwith to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

Adopted by the City Council on this 19<sup>th</sup> day of April, 2021.

The motion for the adoption of the foregoing resolution was made by Councilmember , seconded by Councilmember , and upon vote being duly taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following were absent:

whereupon said resolution was declared duly passed and adopted.

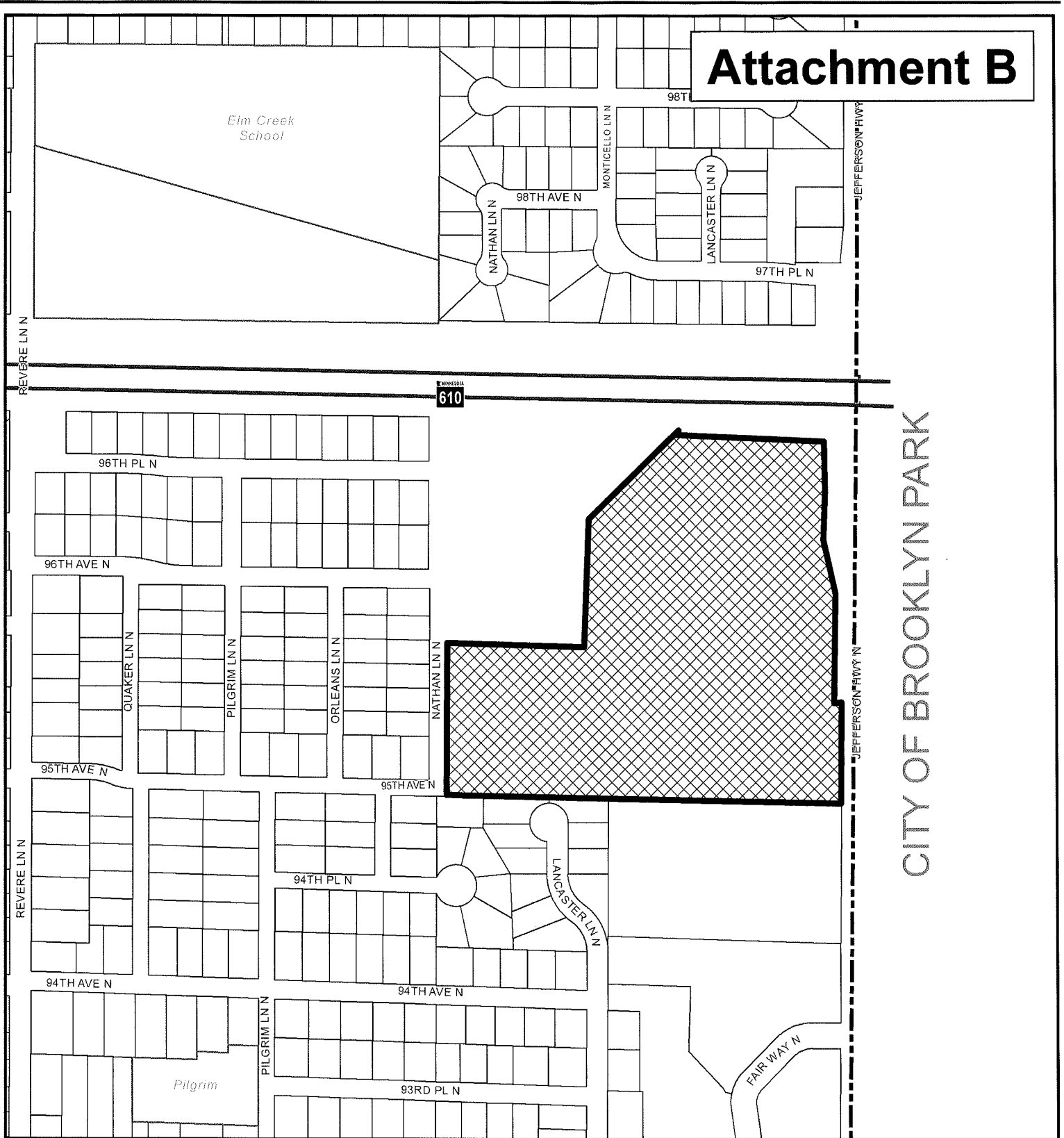
STATE OF MINNESOTA )  
COUNTY OF HENNEPIN ) SS.  
CITY OF MAPLE GROVE)

I, the undersigned, being the duly qualified and acting Clerk of the City of Maple Grove, Hennepin County, Minnesota, a Minnesota municipal corporation, hereby certify that the above and foregoing Resolution No. 21-046 is a true and correct copy of the Resolution as adopted by the City Council on the 19<sup>th</sup> day of April, 2021.

---

Amy Dietl, City Clerk

# Attachment B



City of  
**Maple Grove**

## Location Map AVERY PARK PROJECT LOCATION



Date: 12/9/2020

G:\Amy\Maps\2021 Maps\Avery Park.mxd

## REQUEST FOR COUNCIL ACTION


April 19, 2021

**DATE**

**3J**

**AGENDA ITEM**


**ORIGINATING DEPT**

Jupe Hale, P.E.  
Asst. Public Works Director/  
Asst. City Engineer 

**AGENDA ITEM**

Palisades at Nottingham 3<sup>rd</sup> Addn.  
Project No. 21-09  
Establishing Project  
Resolution No. 21-047

**CITY ADMINISTRATOR  
APPROVAL**



---

### PREVIOUS ACTIONS:

At their April 5, 2021 meeting, Council directed the City Attorney to draft an Ordinance rezoning property from R-A, Single Family Agricultural to PUD Planned Unit Development subject to the approval of the final plat.

Motion to direct the City Attorney to draft a Planned Unit Development Agreement and Resolution approving PUD concept stage plan and development stage plan.

---

### RECOMMENDED COUNCIL ACTION:

Motion to adopt Resolution No. 21-047 establishing Palisades at Nottingham 3<sup>rd</sup> Addition Project No. 21-09, receiving surety, ordering feasibility report, receiving feasibility report, and ordering public hearing.

---

### COMMENTS:

A feasibility report has been prepared for Palisades at Nottingham 3<sup>rd</sup> Addition Project No. 21-09 and is attached for council consideration. The report describes improvements necessary to serve the proposed development including the seven proposed single-family lots and future possible development to the south. Proposed improvements include street, storm system, water and sanitary sewer.

The cost of the improvements benefitting this development is estimated to be \$385,215.39. Those costs, together with area trunk assessments of \$107,358.28 result in a total proposed assessment of \$492,573.67, or \$70,367.67 per lot.

It is recommended that Bolton & Menk, Inc. prepare the report, and that council adopt the attached Resolution No. 21-047 establishing the project and ordering the feasibility report, receiving feasibility report, receiving surety, and ordering a public hearing to be held May 3, 2021.

### ATTACHMENTS:

Attachment A: Resolution No. 21-047  
Attachment B: Feasibility Report  
Attachment C: Project Location Map

# Attachment A

## RESOLUTION NO. 21-047

### RESOLUTION ESTABLISHING PALISADES AT NOTTINGHAM 3<sup>RD</sup> ADDITION PROJECT NO. 21-09, ORDERING FEASIBILITY REPORT, RECEIVING FEASIBILITY REPORT, RECEIVING SURETY AND ORDERING PUBLIC HEARING

---

WHEREAS, Zehnder Homes has requested the Maple Grove Engineering Department to proceed with the preparation of a feasibility report for public improvements to serve Palisades at Nottingham 3<sup>rd</sup> Addition;

WHEREAS, a report has been prepared by the firm of Bolton & Menk, Inc. with reference to Palisades at Nottingham 3<sup>rd</sup> Addition Project No. 21-09, and this report was received by the council on April 19, 2021; and

WHEREAS, Zehnder Homes has submitted a surety to the city in the amount of \$5,000.00 to guarantee payment of costs associated with the preparation of feasibility report for Palisades at Nottingham 3<sup>rd</sup> Addition Project No. 21-09.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Maple Grove, Minnesota:

1. The project shall be known as Palisades at Nottingham 3<sup>rd</sup> Addition Project No. 21-09.
2. The surety from Zehnder Homes in the amount of \$5,000.00 is hereby received and acknowledged as guarantee of payment of costs associated with the preparation of a feasibility report for Palisades at Nottingham 3<sup>rd</sup> Addition Project No. 21-09.
3. The consulting firm of Bolton & Menk, Inc. is instructed to report to the council with all convenient speed advising the council in a preliminary way as to whether the proposed improvement is feasible and as to whether it should best be made as proposed or in connection with some other improvement, and the estimated cost of the improvement as recommended.
4. The City Council will consider the improvement of Palisades at Nottingham 3<sup>rd</sup> Addition Project No. 21-09 in accordance with the report and the assessment of benefitting property for all or a portion of the cost of the improvement pursuant to Minnesota Statutes Chapter 429 at an estimated total cost of the improvement of \$715,400.00.
5. A public hearing shall be held on such proposed improvement on the 3rd day of May, 2021, in the Council Chambers of the Maple Grove Government Center at 7:30 p.m. and the Clerk shall give mailed and published notice of such hearing and improvement as required by law.

Adopted by the City Council on this 19<sup>th</sup> day of April, 2021.

The motion for the adoption of the foregoing resolution was made by Councilmember , seconded by Councilmember , and upon vote being duly taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

whereupon said resolution was declared duly passed and adopted.

STATE OF MINNESOTA )  
COUNTY OF HENNEPIN ) SS.  
CITY OF MAPLE GROVE)

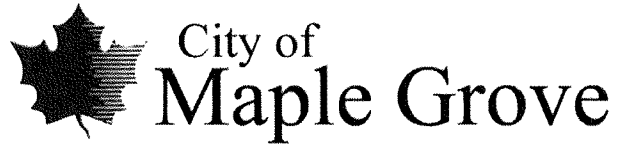
I, the undersigned, being the duly qualified and acting Clerk of the City of Maple Grove, Hennepin County, Minnesota, a Minnesota municipal corporation, hereby certify that the above and foregoing Resolution No. 21-047 is a true and correct copy of the Resolution as adopted by the City Council on the 19<sup>th</sup> day of April, 2021.

---

Amy Dietl, City Clerk



# Attachment B



## Feasibility Report

# Palisades at Nottingham 3<sup>rd</sup> Addition

Utility and Street Improvements

City of Maple Grove

City Project No. 21-09

BMI Project No. 0N1.124094

April 8, 2021

Submitted by:  
Bolton & Menk, Inc.  
2035 County Road D East  
Maplewood, MN 55109  
P: 651-704-9970  
F: 651-704-9971



Real People. Real Solutions.

# Attachment B

2035 County Road D East  
Maplewood, MN 55109-5314

Ph: (651) 704-9970  
Fax: (651) 704-9971  
Bolton-Menk.com

April 8, 2021

Honorable Mayor and City Council  
City of Maple Grove  
12800 Arbor Lakes Parkway  
Maple Grove, MN 55369

RE: Palisades at Nottingham 3<sup>rd</sup> Addition Utility and Street Improvements  
City Project No. 21-09  
BMI Project No. 0N1.124094

Honorable Mayor and City Council Members,

Enclosed for your review is the Feasibility Report for Palisades at Nottingham 3<sup>rd</sup> Addition. The proposed residential development is located south of 73<sup>rd</sup> Place and adjacent to the east side of Zanzibar Lane.

This report describes the utility and street improvements necessary to serve the proposed 7 single-family units within the 3<sup>rd</sup> Addition. Detailed cost estimates for the proposed improvements have been prepared, along with a method of cost allocation for division of the cost between the City and those properties receiving benefit from the improvements. This information is presented in this report.

We will be happy to discuss this report at your convenience. Please contact me at 651-968-7742 if you have any questions.


Sincerely,  
Bolton & Menk, Inc.

Michael S. Nill, P.E.  
Principal Engineer

# Attachment B

## Certification

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

By:   
Michael Nill, P.E.  
License No. 26914

Date: April 8, 2021

# Attachment B

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- III. REQUIRED IMPROVEMENTS ..... 1
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  - B. WATER MAIN ..... 1
  - C. HOUSE SERVICES..... 2
  - D. STORM SEWER ..... 2
  - E. STREETS..... 2
- IV. PERMITS AND EASEMENT REQUIRED ..... 2
- V. ESTIMATED COSTS – LATERAL BENEFIT IMPROVEMENTS ..... 3
- VI. AREA CHARGES ..... 4
- VII. COST AND ASSESSMENT SUMMARY..... 5

## Appendix

- Appendix A: Figures
- Appendix B: Preliminary Opinion of Probable Costs

# Attachment B

## I. RECOMMENDATIONS

Based on the information contained within this report, it can be concluded that the construction of the proposed improvements to serve the Palisades at Nottingham 3<sup>rd</sup> Addition are technically feasible from an engineering standpoint. The improvements are necessary to allow development of the Site and are in accordance with the City's Comprehensive Plan.

It is recommended that this report be approved and used as a guide for the layout, design, and cost allocation for the proposed improvements. Additional recommendations are as follows:

- Approve preliminary report and authorize preparation of plans and specifications
- Hold a public improvement hearing for the proposed improvements based on a preliminary assessment amount of **\$492,573.67**
- Notify the following parcels of the public hearing:
  - PID 29-119-22-14-0001

## II. PROJECT DESCRIPTION

Palisades at Nottingham 3<sup>rd</sup> Addition will be a residential development located south of 73<sup>rd</sup> Place and adjacent to the east side of Zanzibar Lane. The general location of the property within the City is shown on Figure No. 1 in Appendix A. The site will contain 7 single-family residential units.

This report will include a discussion of the improvements required to serve the proposed development, estimated costs of said improvements, and a method of cost allocation to determine project feasibility.

Layout of the proposed streets and utilities to serve the 3<sup>rd</sup> Addition are shown on attached Figures No. 2 and 3 in Appendix A. Construction is anticipated to be completed during the 2021 construction season.

## III. REQUIRED IMPROVEMENTS

### A. SANITARY SEWER

The proposed sanitary sewer improvements are shown on attached Figure No. 2 in Appendix A. All sanitary sewer will be publicly owned and maintained by the City. The entire site will be served by extending an 8-inch lateral sanitary sewer pipe from the existing stub located approximately 125 feet west of the intersection of Xene Lane and 73<sup>rd</sup> Circle. This stub was installed in 2005 as part of the Nottingham 11<sup>th</sup> Addition.

### B. WATER MAIN

The proposed water main improvements are also shown on attached Figure No. 2 in Appendix A. All water main will be publicly owned and maintained by the City. There is an existing 8-inch diameter stub located approximately 125 feet west of the intersection of Xene Lane and 73<sup>rd</sup> Circle. There is also a stub located just east of Zanzibar Lane at the proposed new intersection with 73<sup>rd</sup> Avenue. Both stubs would be connected to as part of this project. These stubs were installed in 2005 as part of the Nottingham 11<sup>th</sup> Addition. The entire system would be equipped with the necessary valves and hydrants for operation, control, and fire protection.

# Attachment B

## **C. HOUSE SERVICES**

Individual sewer and water services will be installed to each of the seven residential units within the development, along with five future units to the south of 73<sup>rd</sup> Avenue. The sewer and water services will be 4-inch diameter and 1-inch diameter, respectively. Both pipes will be installed in a joint trench to approximately 23.5 feet beyond the back of curb (i.e. 1-foot from the utility easement) for future connections by others.

## **D. STORM SEWER**

The proposed storm sewer improvements are shown on attached Figure No. 3 in Appendix A. All storm sewer will be publicly owned and maintained by the City. The stormwater runoff from the site will be collected at low points in the street and rear yards and will be conveyed through piping to an existing sediment pond that is being expanded by the developer to accommodate the proposed 3<sup>rd</sup> Addition. The pond currently outlets to existing storm sewer within 73<sup>rd</sup> Place, which drains to an existing pond within the Nottingham 11<sup>th</sup> Addition before discharging into the existing wetlands north of Nottingham 11<sup>th</sup> Addition.

## **E. STREETS**

The proposed street improvements within the Palisades at Nottingham 3<sup>rd</sup> Addition are shown on attached Figure No. 3 in Appendix A. The entire site will be served by one public street, to be known as 73<sup>rd</sup> Avenue. The width of the public street will be 31 feet, from back of curb to back of curb. The public street will have a 50-foot-wide right-of-way with mountable concrete curb and gutter.

The street will be constructed per City standards with 1 ½ inches of bituminous wearing course pavement, 2 inches of bituminous non-wearing course pavement, 6 inches of class 5 aggregate base, and 12 inches of select granular borrow. A 5-foot wide, 5-inch-thick concrete sidewalk will be constructed within the boulevard, 1 foot from the right-of-way and 3.5 feet from the back of curb.

No costs have been included in this report for street lighting.

## **IV. PERMITS AND EASEMENT REQUIRED**

A construction permit from the Minnesota Department of Health (MDH) and the Minnesota Pollution Control Agency (MPCA) will be required for the water main and sanitary sewer extensions. Because this project disturbs more than one acre of land, a Phase II General Storm Water Permit for Construction Activities from the MPCA will also be required.

All necessary easements for the public utilities and streets within the proposed development will be acquired through the platting process.

# Attachment B

## V. ESTIMATED COSTS – LATERAL BENEFIT IMPROVEMENTS

Detailed cost estimates for construction of the utility improvements to serve the proposed Palisades at Nottingham 3<sup>rd</sup> Addition have been prepared and are itemized in Appendix B. All costs are based on anticipated unit prices for the 2021 construction season and include a 35% allowance for engineering, administrative costs, and financing.

The proposed 3<sup>rd</sup> Addition will contain 7 single family units. This report assumes there is a potential for 5 more single family units with frontage along the south side of 73<sup>rd</sup> Avenue when the property to the south of the 3<sup>rd</sup> Addition (PID 29-119-22-41-0002) develops. This report also assigns one unit worth of benefit to the Nottingham HOA for the parcel on the north side of 73<sup>rd</sup> Avenue, adjacent to Zanzibar Lane.

It is proposed to assign all costs equally to the 13 units (i.e. 7 units within the 3<sup>rd</sup> Addition, 5 potential units within PID 29-119-22-41-0002, and 1 unit to the HOA) as shown in the following table:

Estimated Project Costs and Allocation			
Item	Total Estimated Project Costs	No. of Units	Cost Per Unit
Lateral Sanitary Sewer	\$110,200	13	\$8,476.92
Lateral Water Main	\$114,900	13	\$8,838.46
House Services	\$37,500	13	\$2,884.62
Lateral Storm Sewer	\$108,900	13	\$8,376.92
Streets	\$321,500	13	\$24,730.77
Erosion Control & Restoration	\$22,400	13	\$1,723.08
<b>Total Estimated Project Costs*</b>	<b>\$715,400</b>		<b>\$55,030.77</b>

*\*The City would be responsible for the unit on the north side assigned to the HOA. The City would assign the costs for the future 5 units on the south side of 73<sup>rd</sup> Avenue at the time PID 29-119-22-41-0002 develops.*

# Attachment B

## VI. AREA CHARGES

All properties in the City of Maple Grove are assigned trunk benefit assessments as improvements are installed, reflecting benefit received from nearby trunk utilities and transportation improvements. Trunk benefit is determined on the basis of developable area.

The gross area of the proposed 3<sup>rd</sup> Addition is 5.0 acres, as shown on attached Figure No. 4 in Appendix B. However, the easterly 1/3 of the site is considered undevelopable due to the steep grades. Therefore, the developable area to which the area charges are to be applied is 3.17 acres. A credit of \$3.36 per square foot will be applied for the portion of the south half of the 73rd Avenue right-of-way that fronts the future five lots. This credit will be assessed to the property to the south (PID 29-119-22-41-0002) at the time it develops.

The current area charges will be divided among the 7 units within the proposed 3<sup>rd</sup> Addition as shown in the following table:

Trunk Area Charges - Assessment Per Unit					
Item	Charge per Ac.	Assessable Acres	Total Assessment	No. of Units	Assessment per Unit
Sanitary Sewer	Previously paid				
Storm Sewer	\$7,624.02	3.17	\$24,168.14	7	\$3,452.59
Transportation/Water	\$25,725.86	3.17	\$81,550.98	7	\$11,650.14
Right of Way	\$13,719.66	3.17	\$43,491.32	7	\$6,213.05
<b>Sub-Totals</b>	<b>\$47,069.54</b>		<b>\$149,210.44</b>		<b>\$21,315.78</b>
73rd Ave ROW Credit @ \$3.36/sf x 12,456 sf =			(\$41,852.16)	7	(\$5,978.88)
<b>Totals</b>			<b>\$107,358.28</b>		<b>\$15,336.90</b>

Note: The 73<sup>rd</sup> Avenue ROW credit will be assigned to PID 29-119-22-41-0002 at the time that parcel develops.



# Attachment B

## VII. COST AND ASSESSMENT SUMMARY

A summary of the cost per unit and total assessments to be assigned to the Palisades at Nottingham 3<sup>rd</sup> Addition are shown in the following table:

Cost and Assessment Summary				
Item	Cost per Unit	Palisades at Nottingham 3 <sup>rd</sup> Addition (7 Units)	PID 29-119-22-41-0002 (5 Units)	City (1 unit)
Lateral Utility & Street Improvements	\$55,030.77	\$385,215.38	\$275,153.85	\$55,030.77
Area Charges	\$15,336.90	\$107,358.28	NA	NA
73rd Ave ROW Credit	NA	NA	\$41,852.16	NA
<b>Totals</b>	<b>\$70,367.67</b>	<b>\$492,573.67</b>	<b>\$317,006.01</b>	<b>\$55,030.77</b>

Note: The costs assigned to PID 29-119-22-41-0002 would be assessed to that parcel at the time it develops.

# Attachment B

## Appendix A: Figures

PALISADES AT NOTTINGHAM 3RD ADDITION

CITY OF MAPLE GROVE

LOCATION PLAN

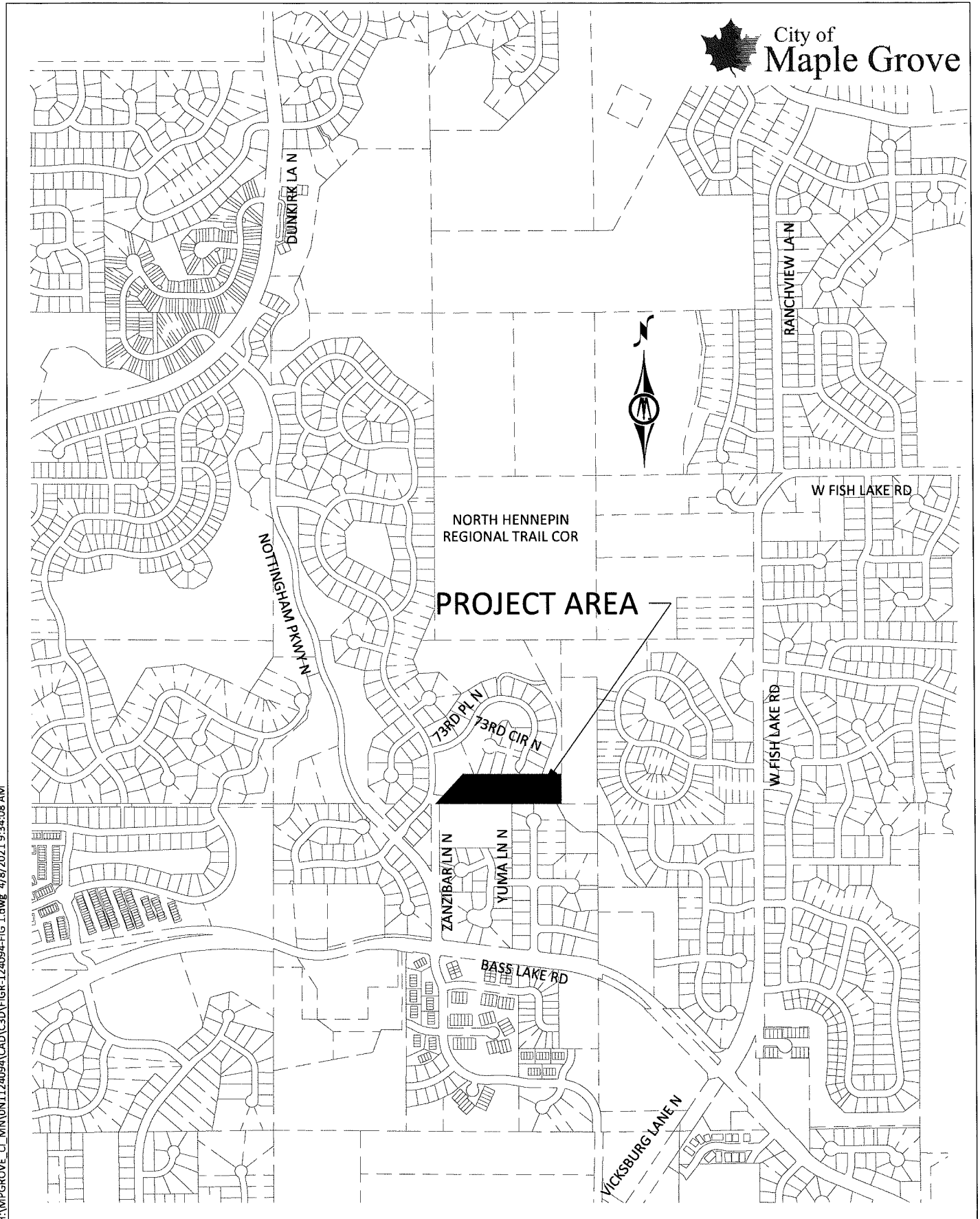
# Attachment B

FIGURE 1

APRIL 2021



**BOLTON  
& MENK**



# PALISADES AT NOTTINGHAM 3RD ADDITION

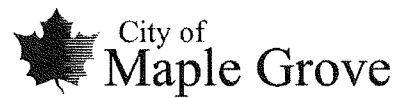
CITY OF MAPLE GROVE

## PROPOSED PUBLIC SANITARY SEWER AND WATER MAIN

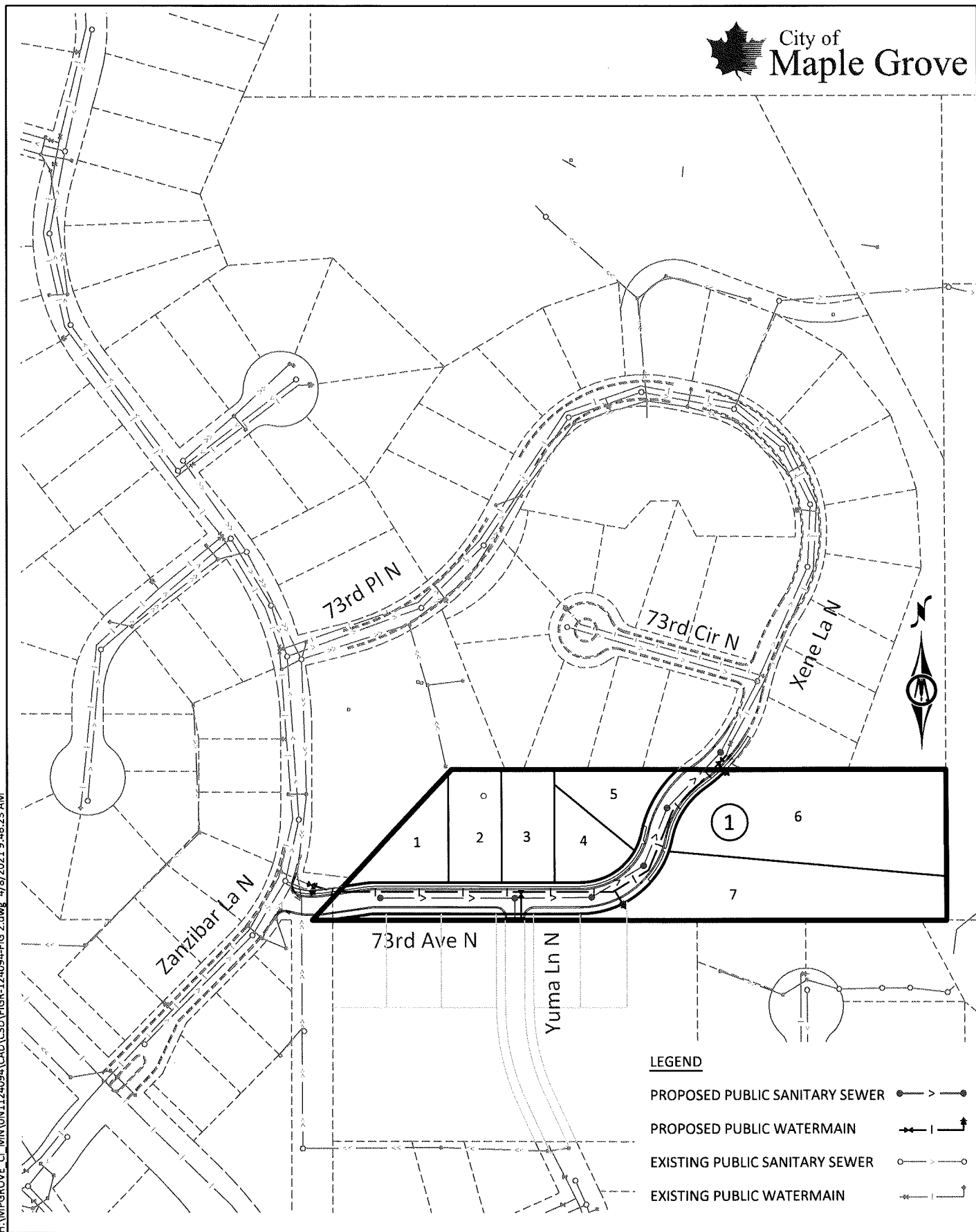
# Attachment B

FIGURE 2

APRIL 2021



H:\MAPGROVE\_CI\_MN\ON1124094\CAD\FIGR-124094-FIG 2.dwg 4/8/2021 9:46:23 AM



PALISADES AT NOTTINGHAM 3RD ADDITION

CITY OF MAPLE GROVE

PROPOSED PUBLIC STORM SEWER AND STREET IMPROVEMENTS

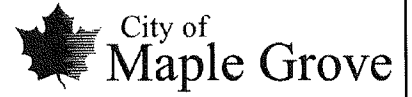
Attachment B

FIGURE 3

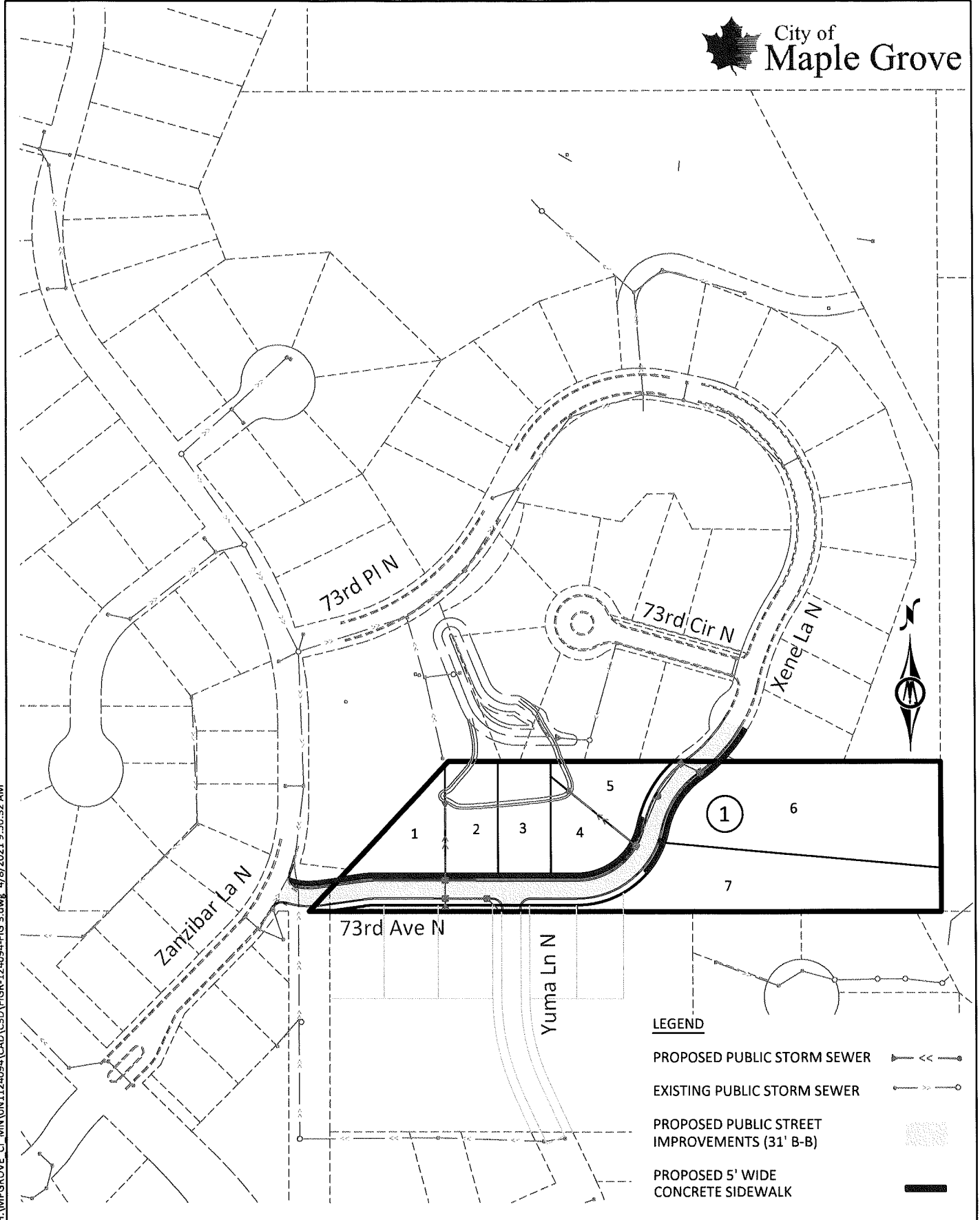
APRIL 2021



**BOLTON  
& MENK**



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PALISADES AT NOTTINGHAM 3RD ADDITION

CITY OF MAPLE GROVE

PARCEL MAP / ASSESSABLE AREA

# Attachment B

FIGURE 4

APRIL 2021

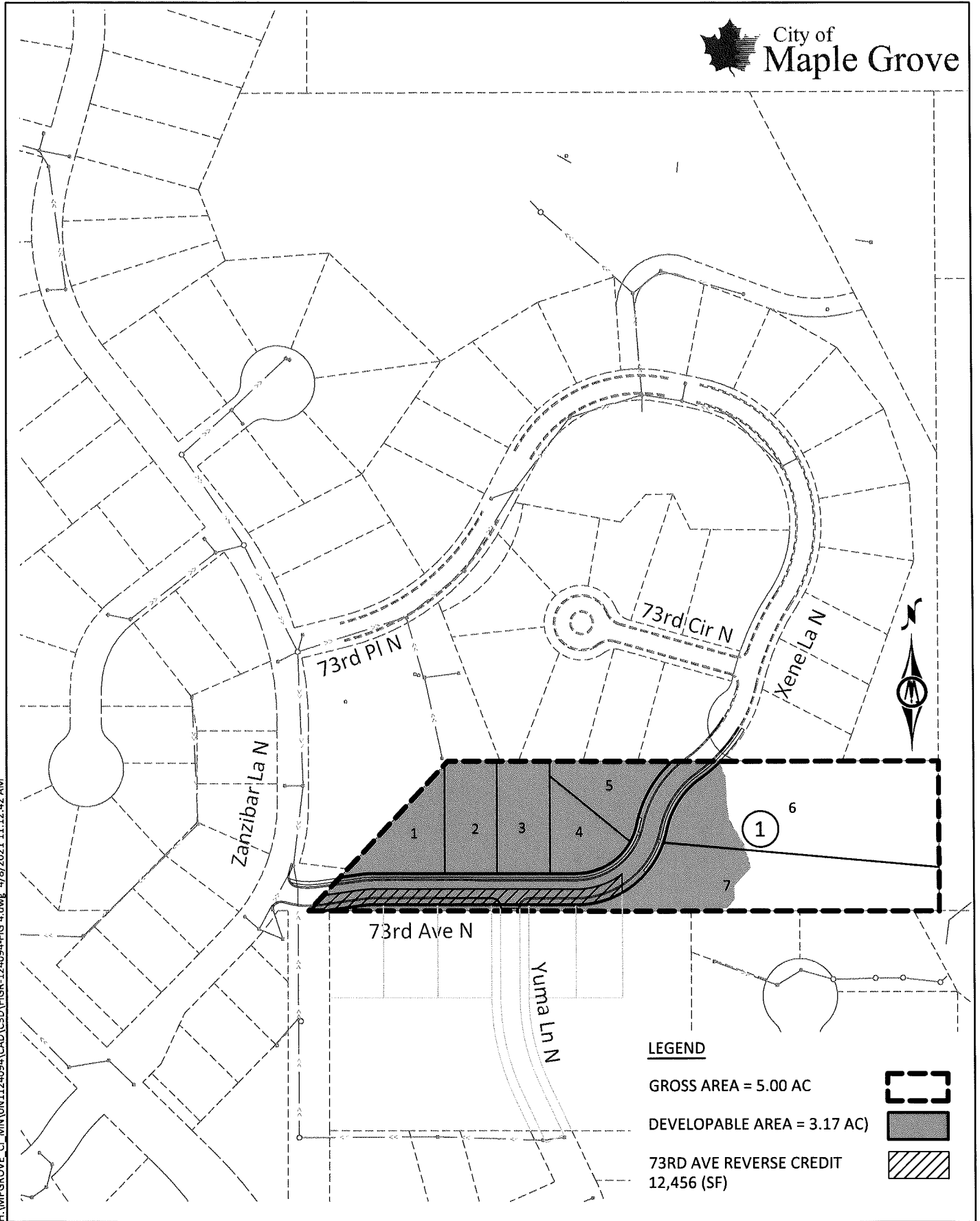


**BOLTON  
& MENK**



City of  
Maple Grove

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# Attachment B

## Appendix B: Estimated Costs

# Attachment B

## CITY OF MAPLE GROVE

### Palisades at Nottingham 3rd Addition - Estimated Costs

CITY PROJECT NO. 21-09

BMI PROJECT NO. 0N1.124094

4/7/2021

ITEM NO.	ITEM	UNIT	QTY	EST'D PRICE	TOTAL EST'D COST
<b>PART 1 - SANITARY SEWER</b>					
1	MOBILIZATION	LS	1	\$8,000.00	\$8,000.00
2	QUALITY SERVICE LOCATES	LS	1	\$1,500.00	\$1,500.00
3	CONNECT TO EXISTING 8" PVC PIPE	EA	1	\$2,500.00	\$2,500.00
4	8" PVC SANITARY SEWER, SDR 26, 10'-15' DEEP	LF	720	\$50.00	\$36,000.00
5	IMPROVED PIPE FOUNDATION	LF	350	\$5.00	\$1,750.00
6	4' DIA. SANITARY MH, 8' DEEP, INCL. CSTG & RINGS	EA	6	\$4,000.00	\$24,000.00
7	4' DIA. SANITARY MANHOLE OVER DEPTH	LF	35	\$225.00	\$7,875.00
<b>PART 1 - SANITARY SEWER - CONSTRUCTION SUBTOTAL</b>					<b>\$81,625.00</b>
35% ENGR., FISCAL & ADMIN					\$28,575.00
<b>PART 1 - SANITARY SEWER - PROJECT TOTAL</b>					<b>\$110,200.00</b>

<b>PART 2 - WATER MAIN</b>					
8	CONNECT TO EXISTING 8" WATER MAIN	EA	1	\$2,000.00	\$2,000.00
9	REMOVE HYDRANT AND VALVE	EA	1	\$1,500.00	\$1,500.00
10	6" PVC (C900) WATER MAIN, DR18	LF	60	\$40.00	\$2,400.00
11	8" PVC (C900) WATER MAIN, DR18	LF	830	\$45.00	\$37,350.00
12	IMPROVED PIPE FOUNDATION	LF	410	\$3.00	\$1,230.00
13	6" GATE VALVE & BOX	EA	3	\$1,800.00	\$5,400.00
14	8" GATE VALVE & BOX	EA	3	\$2,500.00	\$7,500.00
15	VALVE BOX EXTENSION	LF	3	\$300.00	\$900.00
16	5" HYDRANT	EA	3	\$5,000.00	\$15,000.00
17	HYDRANT BARREL EXTENSION	LF	2	\$1,200.00	\$2,400.00
18	WATERMAIN OFFSET	EA	1	\$2,000.00	\$2,000.00
19	DUCTILE IRON FITTINGS	LB	740	\$10.00	\$7,400.00
<b>PART 2 - WATER MAIN - CONSTRUCTION SUBTOTAL</b>					<b>\$85,080.00</b>
35% ENGR., FISCAL & ADMIN					\$29,820.00
<b>PART 2 - WATER MAIN - PROJECT TOTAL</b>					<b>\$114,900.00</b>



# Attachment B

## CITY OF MAPLE GROVE

### Palisades at Nottingham 3rd Addition - Estimated Costs

CITY PROJECT NO. 21-09

BMI PROJECT NO. 0N1.124094

4/7/2021

ITEM NO.	ITEM	UNIT	QTY	EST'D PRICE	TOTAL EST'D COST
<b>PART 3 - SERVICES</b>					
20	1" SERVICE TAP	EA	12	\$325.00	\$3,900.00
21	1" CURB STOP AND BOX	EA	12	\$350.00	\$4,200.00
22	1" HDPE WATER SERVICE	LF	440	\$15.00	\$6,600.00
23	8" X 4" PVC WYE, SDR 26	EA	12	\$300.00	\$3,600.00
24	4" PVC SCH. 40 SANITARY SEWER SERVICE, COMMON TRENCH	LF	440	\$18.00	\$7,920.00
25	4" PVC, SCHEDULE 40, RISER PIPE	LF	20	\$25.00	\$500.00
26	IMPROVED PIPE FOUNDATION	LF	210	\$5.00	\$1,050.00
<b>PART 3 - SERVICES - CONSTRUCTION SUBTOTAL</b>					<b>\$27,770.00</b>
35% ENGR., FISCAL & ADMIN					\$9,730.00
<b>PART 3 - SERVICES - PROJECT TOTAL</b>					<b>\$37,500.00</b>

<b>PART 4 - STORM SEWER</b>					
27	SALVAGE AND REINSTALL 18" RCP FLARED END SECTION	EA	1	\$2,000.00	\$2,000.00
28	CONNECT TO EXISTING 18" RCP	EA	1	\$2,000.00	\$2,000.00
29	15" STORM SEWER	LF	190	\$50.00	\$9,500.00
30	18" STORM SEWER	LF	310	\$55.00	\$17,050.00
31	24" STORM SEWER	LF	130	\$70.00	\$9,100.00
32	6" PEFORATED DRAINTILE	LF	180	\$15.00	\$2,700.00
33	IMPROVED PIPE FOUNDATION	LF	300	\$5.00	\$1,500.00
34	18" RCP FLARED END SECTION WITH TRASH GUARD	EA	2	\$2,000.00	\$4,000.00
35	24" RCP FLARED END SECTION WITH TRASH GUARD	EA	1	\$2,500.00	\$2,500.00
36	RANDOM RIP RAP, CLASS 3	CY	16	\$120.00	\$1,920.00
37	2'x3' CB, INCL CSTG AND ADJ RINGS	EA	1	\$2,500.00	\$2,500.00
38	4' DIA MH, 8' DEEP, INCL R-1642 CSTG AND ADJ RINGS	EA	2	\$3,500.00	\$7,000.00
39	4' DIA CBMH, 8' DEEP, INCL CSTG AND ADJ RINGS	EA	3	\$3,500.00	\$10,500.00
40	4' DIA CBMH, 8' DEEP, INCL 4' DEEP SUMP, CSTG AND ADJ RINGS	EA	2	\$4,000.00	\$8,000.00
41	4' DIA STRUCTURE OVERDEPTH	LF	2	\$200.00	\$400.00
<b>PART 4 - STORM SEWER - CONSTRUCTION SUBTOTAL</b>					<b>\$80,670.00</b>
35% ENGR., FISCAL & ADMIN					\$28,230.00
<b>PART 4 - STORM SEWER - PROJECT TOTAL</b>					<b>\$108,900.00</b>

# Attachment B

## CITY OF MAPLE GROVE

### Palisades at Nottingham 3rd Addition - Estimated Costs

CITY PROJECT NO. 21-09

BMI PROJECT NO. ON1.124094

4/7/2021

ITEM NO.	ITEM	UNIT	QTY	EST'D PRICE	TOTAL EST'D COST
<b>PART 5 -STREETS</b>					
42	MOBILIZATION	LS	1	\$11,000.00	\$11,000.00
43	TRAFFIC CONTROL	LS	1	\$2,000.00	\$2,000.00
44	REMOVE CONCRETE CURB AND GUTTER	LF	100	\$7.00	\$700.00
45	REMOVE CONCRTE PEDESTRIAN RAMP	EA	2	\$300.00	\$600.00
46	REMOVE BITUMINOUS PAVEMENT	SY	170	\$5.00	\$850.00
47	SAWING BITUMINOUS PAVEMENT	LF	90	\$5.00	\$450.00
48	SUBGRADE EXCAVATION (EV)	CY	410	\$12.00	\$4,920.00
49	SUBGRADE PREPARATION	SY	3,230	\$2.00	\$6,460.00
50	SELECT GRANULAR BORROW (CV)	CY	1,890	\$26.00	\$49,140.00
51	AGGREGATE BASE, CLASS 5 (CV)	CY	540	\$35.00	\$18,900.00
52	2" TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	SY	2,640	\$10.00	\$26,400.00
53	BITUMINOUS MATERIAL FOR TACK COAT	GAL	185	\$4.00	\$740.00
54	1.5" TYPE SP 9.5 WEARING COURSE MIXTURE (3,C)	SY	2,640	\$8.00	\$21,120.00
55	MOUNTABLE CONCRETE CURB AND GUTTER	LF	1,750	\$16.00	\$28,000.00
56	REMOVE AND REPLACE CONCRETE CURB AND GUTTER (2022)	LF	440	\$35.00	\$15,400.00
57	5" CONCRETE SIDEWALK (INCLUDES EXCAVATION AND AGGREGATE BASE)	SY	530	\$55.00	\$29,150.00
58	REMOVE AND REPLACE CONCRETE SIDEWALK (2022)	SF	130	\$70.00	\$9,100.00
59	TRUNCATED DOME PANEL	SF	60	\$55.00	\$3,300.00
60	ADJUST MANHOLE CASTING	EA	7	\$500.00	\$3,500.00
61	ADJUST VALVE BOX	EA	3	\$350.00	\$1,050.00
62	BOULEVARD GRADING	HR	10	\$150.00	\$1,500.00
63	STREET SWEEPER WITH OPERATOR	HR	5	\$150.00	\$750.00
64	SKIDSTEER (BOBCAT) WITH OPERATOR	HR	5	\$130.00	\$650.00
65	REMOVE SIGN	EA	2	\$100.00	\$200.00
66	SIGN PANELS, TYPE C	EA	2	\$400.00	\$800.00
67	GALVANIZED STEEL ROUND POST (FOR STREET NAME BLADE)	EA	1	\$250.00	\$250.00
68	CONDUIT CROSSING	EA	3	\$400.00	\$1,200.00
<b>PART 5 -STREETS - CONSTRUCTION SUBTOTAL</b>					<b>\$238,130.00</b>
35% ENGR., FISCAL & ADMIN					\$83,370.00
<b>PART 5 -STREETS - PROJECT TOTAL</b>					<b>\$321,500.00</b>

# Attachment B

## CITY OF MAPLE GROVE

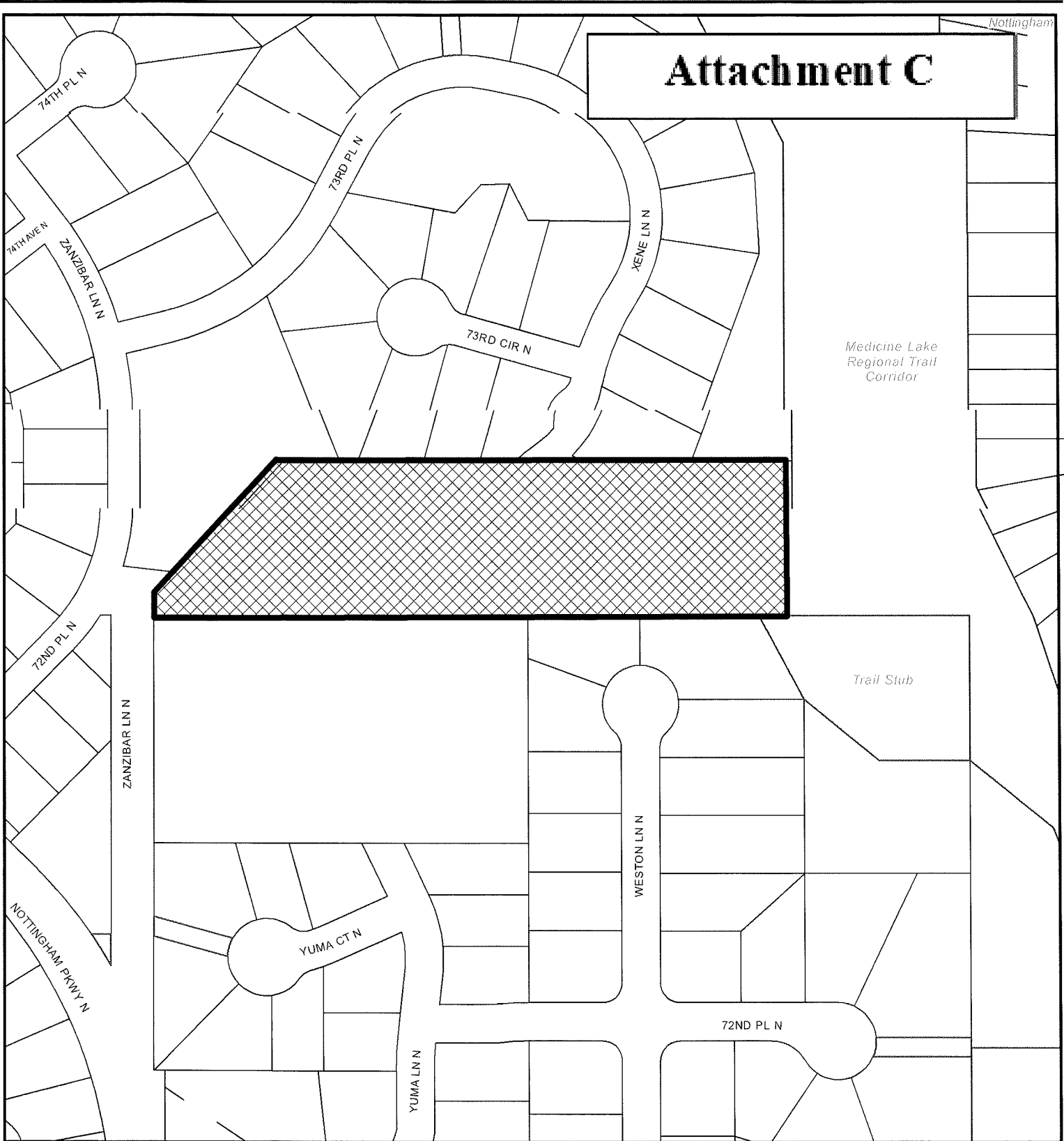
### Palisades at Nottingham 3rd Addition - Estimated Costs

CITY PROJECT NO. 21-09

BMI PROJECT NO. 0N1.124094

4/7/2021

ITEM NO.	ITEM	UNIT	QTY	EST'D PRICE	TOTAL EST'D COST
<b>PART 6 - EROSION CONTROL AND RESTORATION</b>					
69	STABILIZED CONSTRUCTION EXIT	EA	2	\$1,500.00	\$3,000.00
70	INLET PROTECTION, STREET CATCH BASIN	EA	10	\$250.00	\$2,500.00
71	INLET PROTECTION, REAR YARD CATCH BASIN	EA	0	\$250.00	\$0.00
72	SILT FENCE, MACHINE SLICED	LF	100	\$3.00	\$300.00
73	SODDING, LAWN TYPE (6" TOPSOIL BORROW)	SY	400	\$12.00	\$4,800.00
74	SEEDING	AC	1.5	\$1,200.00	\$1,800.00
75	MNDOT SEED MIX 25-151	LB	500	\$4.00	\$2,000.00
76	FERTILIZER, TYPE 3	LB	700	\$1.00	\$700.00
77	MULCH, TYPE 1	TN	3	\$500.00	\$1,500.00
<b>PART 6 - EROSION CONTROL AND RESTORATION - CONSTRUCTION SUBTOTAL</b>					<b>\$16,600.00</b>
35% ENGR., FISCAL & ADMIN					\$5,800.00
<b>PART 6 - EROSION CONTROL AND RESTORATION - PROJECT TOTAL</b>					<b>\$22,400.00</b>



# Attachment C



City of  
**Maple Grove**

**Location Map  
PALISADES AT NOTTINGHAM  
3RD ADDITION  
PROJECT LOCATION**



Date: 4/5/2021

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

3K

**AGENDA ITEM**

**ORIGINATING DEPT**


**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Derek Asche  
Water Resources Engineer



Rice Lake  
Ski Slalom Course



### PREVIOUS ACTIONS:

On May 16, 1998, City Council adopted the Surface Water Use Ordinance which requires a permit for lake obstacles to be approved by the City Council.

The Maple Grove Lake Quality Commission has recommended approval of the Maple Grove Waterski Club permit for a ski slalom course on Rice Lake.

### RECOMMENDED COUNCIL ACTION:

Motion to approve the 2021 permit for the Maple Grove Waterski Club for a ski slalom course on Rice Lake.

### COMMENTS:

The Maple Grove Waterski Club has submitted an application requesting permit approval to operate a ski slalom course on Rice Lake. The organization has provided the necessary certificate of insurance which meets the requirements listed on our application and names the City of Maple Grove as additional insured. As in the past, permits for a slalom course must also be obtained from the Hennepin County Water Patrol.

Historically, the Lake Quality Commission has discussed possible water quality impacts for this type of activity; however, they have concluded that this type of activity is insignificant compared to overall activity on a lake. Therefore, the Lake Quality Commission has been supportive of this use as well as a broad range of other uses and activities.

### ATTACHMENTS:

Attachment A: Rice Lake application

# Attachment A

CITY OF MAPLE GROVE  
12800 ARBOR LAKES PARKWAY, MAPLE GROVE, MN 55369


## REQUEST FOR PERMIT FOR A WATER OBSTACLE

The following information is necessary to ensure proper and accurate issuance of your permit. Please fill the top half of this form out completely, complete with diagrams, and return it to our office as soon as possible. There is a \$50.00 Water Obstacle Permit application fee. Checks should be made payable to the City of Maple Grove. Thank you.

### PLEASE PRINT

NAME: Robert Shimpa  
ADDRESS: 14969 91st Ave N  
HOME PHONE: 612-396-4186 WORK PHONE: \_\_\_\_\_  
LAKESHORE OWNER (if not applicant): \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
HOME PHONE: \_\_\_\_\_ WORK PHONE: \_\_\_\_\_  
TYPE, NUMBER AND LOCATION OF PROPOSED STRUCTURES(S): 1 LAKE OR BAY Rice  
Swimming Buoys \_\_\_\_\_, Ski Jump \_\_\_\_\_, Slalom Course X, Other \_\_\_\_\_

YOU MUST SUBMIT A SIGNED AND DATED LETTER OF PERMISSION FROM THE AFFECTED PROPERTY OWNER(S).

Your Signature:  Date: 3/15/2021  
Organization: Maple Grove Waterski Club

With the application, the applicant shall provide proof satisfactory to the City of a policy or Certificate of Liability Insurance for the permitted obstacle, which insurance shall, as a minimum, meet the following requirements:

1. A minimum amount for each occurrence and for each year of \$1 million dollars (\$1,000,000) of comprehensive general public liability insurance;
2. In effect during the entire period of the permit;
3. Endorsed to show the City of Maple Grove as an additional insured;
4. No cancellation for any cause can be made either by the insured or the insurance company without first giving twenty (20) days written notice addressed to the City Clerk of an intention to cancel the same;
5. No payment of any claim by the insurance company shall in any manner decrease the coverage provided for because of any other claim or claims brought against the insured or insurance company thereafter;
6. The insurer shall pay to the extent of the principal amount of the policy any damages for death or injury caused by or resulting from the water obstacle for which such permit has been approved including, but not limited to, any such damages resulting from the violation of any law relating thereto.

By submitting this application, I and/or my organization, accept responsibility for the presence, maintenance, use and removal of the water obstacle and agree to indemnify and hold the City harmless from any liability with regard to the water obstacle.


### FOR OFFICE USE ONLY:

Date Completed:	Description
	Application for permit received by City
	Proof of insurance received
	Permit approved by Lake Quality Commission
	Permit approved by City Council
	Copy of Permit sent to applicant

## SLALOM COURSES

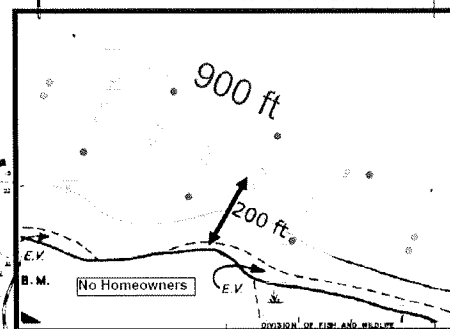
A regulation length slalom course is normally over eight hundred (800) feet long, and because it restricts the public use of such a large area, the following rules are to be followed:

1. Property owners the course directly affects must give written permission.
2. Surface floats must be submerged or removed when the course is not in use.
3. The County permit number must be displayed on the end floats.
4. The course cannot exceed 900 feet in length.
5. The course cannot be a navigational, operational or environmental hazard.
6. The permit will be renewed annually and the previous year's complaints will be reviewed.
7. The course and boat path can be no closer than one hundred (100) feet from shore.
8. A detailed to scale map of course, water depth and boat path must accompany application.

I,  \_\_\_\_\_, hereby acknowledge that my temporary structure meets the above regulations.

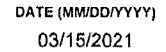
Dated: 3/15/2021

City of Maple Grove  
12800 Arbor Lakes Parkway  
Maple Grove, Minnesota 55369

[illegible]

DIVISION OF FISH AND WILDLIFE		
EDUCATIONAL SERVICES SECTION		
RICE LAKE (27-116)		
HUMBOLDT COUNTY		
FIELD NO.	AGE	SEX
REMARKS: 27-116	DATE: 1-16-68	NO. OF EGGS
27-116	1-16-68	1-16-68





1001486 132849.12 03-16-2016

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

**3L**

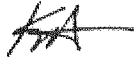
**AGENDA ITEM**

**ORIGINATING DEPT**

Jupe Hale, P.E.

Asst. Public Works Director/

Asst. City Engineer



**AGENDA ITEM**

Special Assessment

Cancellation

Resolution No. 21-048

**CITY ADMINISTRATOR  
APPROVAL**



---

### PREVIOUS ACTIONS:

At their October 19, 2020 meeting Council levied special assessments against property identified as 23-119-22-43-0014 under Levy No. 20425 in the amount of \$513,963.41 respectively, for benefit received from City Project No. 16-13.

---

### RECOMMENDED COUNCIL ACTION:

Motion to adopt Resolution No. 21-048 cancelling special assessments as a result of Levy No. 20425.

---

### COMMENTS:

The parcel located on the southeast corner of Hemlock Lane and Arbor Lakes Parkway (address currently unassigned) was platted as part of The Village at Arbor Lakes 12<sup>th</sup> Addition in 2020. As a result of benefit received from City Project No.16-13, Council certified for collection Levy No. 20425. Developer is pursuing a new plat with revised property lines and revised assessment allocation, called Village at Arbor Lakes 15<sup>th</sup> Addition. As a result, it is requested the amount of \$513,963.41 be deferred and reassessed with the plat of The Village at Arbor Lakes 15<sup>th</sup> Addition. Given the binding nature of the Assessment Agreement, it is appropriate to cancel these previously levied assessments.

It is recommended that City Council adopt Resolution No. 21-048 cancelling the special assessments as a result of Levy No. 20425.

### ATTACHMENTS

Attachment A: Resolution No. 21-048

Attachment B: Property Location Map

# Attachment A

## RESOLUTION NO. 21-048

### RESOLUTION CANCELLING SPECIAL ASSESSMENTS

---

WHEREAS, the City of Maple Grove is a duly incorporated municipal corporation in the State of Minnesota; and

WHEREAS, said City of Maple Grove has caused to be constructed certain improvement projects pursuant to Minnesota Statutes; and

WHEREAS, said City of Maple Grove did construct various improvement projects as hereinafter identified and did pursuant to Minnesota Statutes duly assess the benefitted properties for said improvement projects; and

WHEREAS, the hereinafter described real property was assessed for said improvements; and

WHEREAS, the developer for The Village at Arbor Lakes entered into an Assessment Agreement which addresses, amongst other things, the payment of special assessment for benefit received.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Maple Grove, Minnesota does hereby and herein order a cancellation of special assessments for the future tax years beginning in 2021 as shown below;

#### ASSESSMENTS TO BE CANCELLED

PROPERTY ID#	ADDITION	MUNIC.	PROJ. NO.	LEVY NO.	ORIG. AMT.
23-119-22-43-0014	10371	Maple Grove	16-13	20425	\$513,963.41

Adopted by the City Council on this 19th day of April 2021.

The motion for the adoption of the foregoing resolution was made by \_\_\_\_\_, seconded by \_\_\_\_\_ and upon vote being duly taken thereon, the following voted in favor thereof

and the following voted against the same:

and the following were absent:

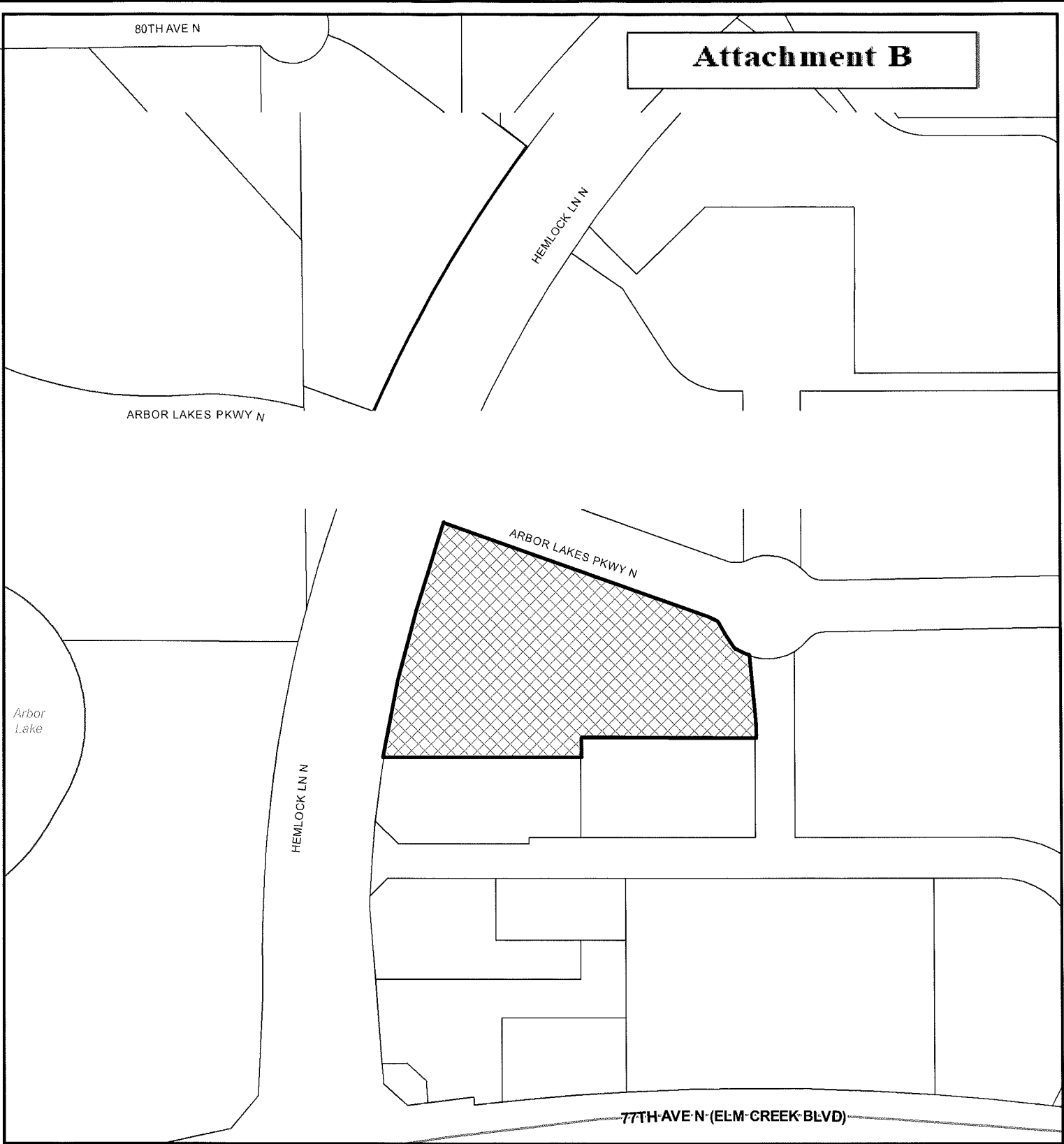
whereupon said resolution was declared duly passed and adopted.

STATE OF MINNESOTA )  
COUNTY OF HENNEPIN ) SS.  
CITY OF MAPLE GROVE)

I, the undersigned, being the duly qualified and acting Clerk of the City of Maple Grove, Hennepin County, Minnesota, a Minnesota municipal corporation, hereby certify that the above and foregoing Resolution No. 21-048 is a true and correct copy of the Resolution as adopted by the City Council on the 19th day of April, 2021.

---

Amy Dietl, City Clerk



City of  
**Maple Grove**

**Location Map**  
**VILLAGE AT ARBOR LAKES**  
**14TH ADDITION**  
**PROJECT LOCATION**



Date: 3/26/2021

**REQUEST FOR COUNCIL ACTION**

April 19, 2021

**DATE**


3M

**AGENDA ITEM**

**ORIGINATING DEPT**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Ken Ashfeld, P.E.   
Director of Public Works/  
City Engineer

Sureties



---

**PREVIOUS ACTIONS:**

None.

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**RECOMMENDED COUNCIL ACTION:**

Motion to approve the surety actions as identified below:

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**COMMENTS:**

**New**

Avery Park, LLC, Avery Park, Tradition Capital Bank, Escrow Items Surety, Letter of Credit No. 1304, \$116,000.00.

Avery Park, LLC, Avery Park, Tradition Capital Bank, Petition Items Surety, Letter of Credit No. 1303. \$2,100,000.00.

**REQUEST FOR COUNCIL ACTION**

April 19, 2021

**DATE**

3N

**AGENDA ITEM**

**ORIGINATING DEPARTMENT**

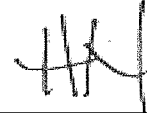
**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

**Fire Department**



Firehouse Subs Safety Foundation  
Thermal Imaging Camera Donation



**PREVIOUS ACTION:**

None

**RECOMMENDED COUNCIL ACTION:**

Motion to accept donation of five (5) MSA Evolution 6000 Thermal Imaging Cameras & Accessories valued at up to \$42,335.00.

**COMMENTS:**

Maple Grove Fire Department uses thermal imaging cameras (TICs) during emergency events. MGFD applied for an equipment grant from the Firehouse Subs Public Safety Foundation for the purchase of new TICs for each of the five Maple Grove Fire Stations.

The Firehouse Subs Public Safety Foundation Board of Directors awarded the City of Maple Grove five MSA Evolution 6000 Thermal Imaging Cameras. This grant is unique as the procurement process is determined by the Foundation, who will deliver the requested equipment to the Maple Grove Fire Department.

## REQUEST FOR COUNCIL ACTION

April 19, 2021

DATE

30

AGENDA ITEM

ORIGINATING DEPT

AGENDA ITEM

CITY ADMINISTRATOR  
APPROVAL

Finance

65.

Approve Claims

HH

### PREVIOUS ACTIONS:

None

### RECOMMENDED COUNCIL ACTION:

Motion to approve claims totaling \$ 1,858,411.23

### COMMENTS:

None

### ATTACHMENTS:

Attachment A: Check register dated 03/24/2021 Total - \$ 621,626.20

Attachment B: Check register dated 03/31/2021 Total - \$ 701,017.00

Attachment C: Check register dated 04/07/2021 Total - \$ 517,680.41

Attachment D: Purchasing card register dated 02/17/2021 Total - \$ 18,087.62



# Attachment A

Company	Amount
01000 GENERAL FUND	181,009.95
02300 TRANSIT FUND	89,522.05
02375 TRAINING FACILITY FUND	805.00
02500 COMMUNITY RESOURCES	258,336.29
03200 CAPITAL IMPROVEMENT FUND	1,352.00
03202 TRUNK STREET CONSTRUCTION	5,613.50
03461 2020 IMPROVEMENT PROJECT FUND	229.24
08200 WATER OPERATING FUND	7,779.22
08300 SEWER OPERATING FUND	3,218.08
08400 STREET LIGHTING FUND	762.21
09500 CENTRAL EQUIPMENT FUND	18,627.67
09525 CENTRAL EQUIPMENT REPLACEMENT	53,449.50
09527 DATA PROCESSING REPLACEMENT	921.49
Report Totals	621,626.20

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193223	3/24/2021	191.96	100268 A-1 OUTDOOR POWER INC												
		191.96	BLACKTOP TOOLS		316937	483621	1771	6240			SMALL TOOLS	BLACKTOP MAINTENANCE	01000	055	083
193224	3/24/2021	336.00	174086 ACE ELECTRICAL CONTRACTORS		317170	348193	1001	4207			ELECTRICAL PERMITS	GENERAL FUND REVENUES	01000		
		336.00	80% REFUND												
193225	3/24/2021	1,352.00	106909 ALL STATE COMMUNICATIONS INC		317094	313818	4643	6505			CAPITAL OUTLAY	CABLE TV EQUIPMENT	03200	110	
		1,352.00	FIRE STATION SIGNAGE EXPANSION												
193226	3/24/2021	27.31	169821 AMAZON BUSINESS		316938	14FC-HRXXW-H4V3	1270	6403	HM		HARDWARE MAINTENANCE	INFORMATION TECHNOLOGY	01000	025	035
		84.98	USB SERIAL CABLE FOR GASBOY PC		316960	11HH-M79P-XGMV	1270	6205			SUPPLIES	INFORMATION TECHNOLOGY	01000	025	035
		399.00	KEYBOARD FOR CHAMBERS SURFACE		317095	1LC9-VDHT-1T3C	1341	6205			SUPPLIES	PATROL	01000	040	052
		74.97	DOC SCANNER FOR POLICE		317191	14FC-HRXXW-CMVW	1270	6205			SUPPLIES	INFORMATION TECHNOLOGY	01000	025	035
		21.99	CAR CHARGER RESTOCKING		317191	14FC-HRXXW-CMVW	1301	6205			SUPPLIES	POLICE ADMIN	01000	040	050
		608.25	LINDQUIST IPAD CASE												
193227	3/24/2021	28.15	177314 ANDERSON, ANITA		317213	0524853200 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S	08200		
		28.15	REF CR BAL 8532 XENIUM LN N												
193229	3/24/2021	109.70	100495 ASPEN MILLS		316974	270686	1341	6213			CLOTHING & INDIV EQUIP	PATROL	01000	040	052
		51.35	NEW HIRE MALESKI		317166	270312	1501	6213			CLOTHING & INDIV EQUIP	FIRE RESPONSE	01000	045	065
		282.20	INITIAL ISSUE UNIFORM-WILLIAMS		317192	271091	1341	6213			CLOTHING & INDIV EQUIP	PATROL	01000	040	052
		443.25	NEW HIRE IVANOV												
193230	3/24/2021	95.00	106299 AT&T - PD		316975	379565	1381	6301			PROFESSIONAL SERVICES	INVESTIGATION ADMIN	01000	040	053
		95.00	AT & T INVOICE 20-15383												
193232	3/24/2021	250.00	107678 ATOM-ASSOC OF TRAINING OFFICERS OF MN		317258	2021	1341	6451			DUES AND MEMBERSHIPS	PATROL	01000	040	052
		250.00	ANNUAL ATOM MEMBERSHIP												
193233	3/24/2021	219.55	131739 AUTOMATIC SYSTEMS CO. BOX 120359		316961	35750S	8241	6403			REPAIR/MAINT EQUIPMENT	WELLS	08200		
		219.55	PLC PROGRAM		316961	35750S	8241	6403			REPAIR/MAINT EQUIPMENT	WELLS	08200		
		219.55	PLC PROGRAM		316961	35750S	8321	6403			REPAIR/MAINT EQUIPMENT	LIFT STATIONS	08300		
		658.65													
193234	3/24/2021	138,970.13	170697 AXON ENTERPRISES INC		317098	SI-1723435	2522	6506			NON-CAPITAL ITEMS (<\$5,000)	POLICE CASE FORFEITURES (	02500	040	
		100,000.00	AXON CONTRACT		317098	SI-1723435	2510	6506			NON-CAPITAL ITEMS (<\$5,000)	LAWFUL GAMBLING CONTRIBUT	02500	005	



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193246	3/24/2021		<b>100264 EARL F ANDERSON-DIV OF SAFETY SIGNS</b>												
		3,726.00	NEW CHANNEL POSTS		316935	0125810-IN	1822	6205			SUPPLIES	STREET SIGN MAINTENANCE	01000	055	085
		284.98	LT POLE STICKERS - APEX		317194	0125868-IN	8405	6205			SUPPLIES	STREET LIGHTING			08400
		4,870.50	W.O. 2021 STREET NAME		317195	0125882-IN	1822	6506			NON-CAPITAL ITEMS (<\$5,000)	STREET SIGN MAINTENANCE	01000	055	085
		15,164.34	WO_2021 NAME PLATE		317196	0125861-IN	1822	6506			NON-CAPITAL ITEMS (<\$5,000)	STREET SIGN MAINTENANCE	01000	055	085
		1,038.35	SIGN SUPPLIES		317197	0125870-IN	1822	6506			NON-CAPITAL ITEMS (<\$5,000)	STREET SIGN MAINTENANCE	01000	055	085
		25,084.17													
193247	3/24/2021		<b>100184 ECM PUBLISHERS INC</b>												
		177.20	PHN: ONLINE PD AUCTION		317221	825336	1417	6324			LEGAL NOTICES	PROPERTY ROOM	01000	040	051
		1,080.92	2021 SPEC ASSESSMENT HEARING		317222	825335	1601	6324			LEGAL NOTICES	ENGINEERING SERVICES	01000	050	075
		1,258.12													
193248	3/24/2021		<b>177301 ELLIS, MATTHEW</b>												
		27.14	REF CR BAL 9561 MINNESOTA LN N		317230	0613956107 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S			08200
		27.14													
193249	3/24/2021		<b>148191 FINANCE &amp; COMMERCE</b>												
		229.24	20-08 AD FOR BID		316939	744993743	4845	6324	P		PUBLICATIONS	2020-08 ELM ROAD CONSTRUC	03461		375
		229.24													
193250	3/24/2021		<b>112568 FISCHER, CHAD</b>												
		144.98	GEAR REIMBURSE PER CONTRACT		316964	3082021	8206	6213			CLOTHING & INDIV EQUIP	WATER ADMINISTRATION			08200
		144.98													
193251	3/24/2021		<b>177300 FOSSUM, MARY</b>												
		34.38	REF CR BAL 9848 KIRKWOOD LN N		317231	0511984801 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S			08200
		34.38													
193252	3/24/2021		<b>125228 GALLS LLC - POLICE DEPT</b>												
		127.62	MFF EQUIPMENT		317208	017514997	1341	6205			SUPPLIES	PATROL	01000	040	052
		2,100.00	MFF EQUIPMENT		317211	017100234	1341	6205			SUPPLIES	PATROL	01000	040	052
		177.00	MFF EQUIPMENT		317212	017110530	1341	6205			SUPPLIES	PATROL	01000	040	052
		2,404.62													
193253	3/24/2021		<b>177305 GEOFFRION, LOGAN</b>												
		17.79	REF CR BAL 12220 101ST AVE N		317232	0101222004 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S			08200
		17.79													
193254	3/24/2021		<b>177302 GILES, CHARLES</b>												
		13.96	REF CR BAL 10217 VALLEY FORGE		317233	0422021706 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S			08200
		13.96													
193255	3/24/2021		<b>100101 GRAINGER</b>												
		228.27	STREET SIGN SUPPLIES		317223	9841723597	1822	6205			SUPPLIES	STREET SIGN MAINTENANCE	01000	055	085
		153.56	STREET SIGN SUPPLIES		317224	9841214464	1822	6205			SUPPLIES	STREET SIGN MAINTENANCE	01000	055	085



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193273	3/24/2021	3,000.00	172900 LOCKRIDGE GRINDAL NAUEN P.L.L.P.		316978	109458	4821	6301			PROFESSIONAL SERVICES	TH610 EXTENSION REGION	03202		375
		3,000.00	LEGISLATIVE SERVICES MAR 2021												
193274	3/24/2021	119.71	177315 LUTZKA, JOHN		317241	0507911901 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S	08200		
		119.71	REF CR BAL 9119 GOLDENROD LN N												
193276	3/24/2021	29.77	177310 MADLER, SARA		317242	0952974582 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S	08200		
		29.77	REF CR BAL 18671 75TH AVE N												
193277	3/24/2021	197.12	172646 MC TOOL & SAFETY SALES		316969	010125	8206	6213			CLOTHING & INDIV EQUIP	WATER ADMINISTRATION	08200		
		262.84	SEASONAL VESTS & GLASSES		316969	010125	1721	6213			CLOTHING & INDIV EQUIP	STREET ADMINISTRATION	01000	055	081
		459.96													
193278	3/24/2021	8,750.00	168405 MCCD-METROPOLITAN CONSORTIUM OF COMM DEV		316954	2021	1221	6301			PROFESSIONAL SERVICES	ECONOMIC DEVELOPMENT ADMI	01000	015	021
		8,750.00	OPEN TO BUSINESS PROGRAM												
193279	3/24/2021	149.99	154848 MELLEN, DAN		316970	3132021	8206	6213			CLOTHING & INDIV EQUIP	WATER ADMINISTRATION	08200		
		149.99	GEAR REIMBURSE PER CONTRACT												
193280	3/24/2021	21.95	100463 MENARDS INC		317097	80075	1822	6205			SUPPLIES	STREET SIGN MAINTENANCE	01000	055	085
		25.98	STREET SIGN SUPPLIES		317227	80043	1776	6205			SUPPLIES	BOULEVARD MAINTENANCE	01000	055	083
		188.93	TWINE, TRASH BAGS		317227	80043	1776	6212			CHEMICALS	BOULEVARD MAINTENANCE	01000	055	083
		236.86	PREEN WEED PREVENTER												
193281	3/24/2021	13,897.21	100134 METRO TRANSIT		317167	NCV-61312	2305	6301			PROFESSIONAL SERVICES	TRANSIT OPERATIONS	02300	005	008
		4,276.06	MB52 GEN ADMIN FEB 2021		317167	NCV-61312	2305	6301			PROFESSIONAL SERVICES	TRANSIT OPERATIONS	02300	005	008
		17,298.63	MB51 NON VEH MAINT FEB 2021		317167	NCV-61312	2305	6301			PROFESSIONAL SERVICES	TRANSIT OPERATIONS	02300	005	008
		61,711.39	MB50 VEH MAINT FEB 2021		317167	NCV-61312	2305	6301			PROFESSIONAL SERVICES	TRANSIT OPERATIONS	02300	005	008
		7,979.23	MB49 VEH OPS FEB 2021		317167	NCV-61312	2305	4350			TRANSIT FARES	TRANSIT OPERATIONS	02300	005	008
		89,204.06	SG3 FEB 2021 REVENUE CREDIT												
193283	3/24/2021	2,268.57	100179 MINNEAPOLIS NORTHWEST		317198	FEB2021	1001	4060			LODGING TAX	GENERAL FUND REVENUES	01000		
		2,283.17	FEB 2021 LODGING TAX HAMPTON		317198	FEB2021	1001	4060			LODGING TAX	GENERAL FUND REVENUES	01000		
		1,795.94	FEB 2021 LODGING TAX STAYBRIDG		317198	FEB2021	1001	4060			LODGING TAX	GENERAL FUND REVENUES	01000		
		2,645.86	FEB 2021 LODGING TAX EXTD STAY		317198	FEB2021	1001	4060			LODGING TAX	GENERAL FUND REVENUES	01000		
		6,018.31	FEB 2021 LODGING TAX HILTON		317198	FEB2021	1001	4060			LODGING TAX	GENERAL FUND REVENUES	01000		
		2,914.67	FEB 2021 LODGING TAX HOLIDAY		317198	FEB2021	1001	4060			LODGING TAX	GENERAL FUND REVENUES	01000		
			FEB 2021 LODGING TAX COURTYARD		317198	FEB2021	1001	4060			LODGING TAX	GENERAL FUND REVENUES	01000		



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		60.00													
193299	3/24/2021	51.21	177309 SCHENDEL, STEPHEN REF CR BAL 6501 E FISH LAKE RD		317246	0022650100 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S		08200	
		51.21													
193300	3/24/2021	35.57	177313 SCHULTZ, ERIC REF CR BAL 9001 SAWGRASS GLEN		317247	0555900102 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S		08200	
		35.57													
193301	3/24/2021	921.49	108053 SHI INTERNATIONAL CORP 290 DAVIDSON AVE REPLACEMENT SQUAD MDC DOCK		317209	B13199845	9527	6506			NON-CAPITAL ITEMS (<\$5,000)	DATA PROCESSING REPLACEME		09527	
		921.49													
193302	3/24/2021	81.37	172079 SHRED-N-GO INC DOCUMENT DESTRUCTION		317210	116515	1321	6301			PROFESSIONAL SERVICES	PROFESSIONAL STANDARDS-AD	01000	040	051
		81.37													
193303	3/24/2021	1,272.02	177241 SINGLE-PLY SYSTEMS INCORRECT PERMIT PULLED		317169	348035	1001	4205			BUILDING PERMITS	GENERAL FUND REVENUES		01000	
		1,272.02													
193304	3/24/2021	107.91	100186 SIPE BROS INC REFILL (9) 20# LP GAS		317228	653	1771	6211			GAS/OIL/GREASE	BLACKTOP MAINTENANCE		01000	055 083
		107.91													
193305	3/24/2021	24.99	110455 SPRINT MAR21 DATA PLANS: IT		317251	587183319-232	1270	6321			TELEPHONE	INFORMATION TECHNOLOGY		01000	025 035
		11.04	MAR21 CELLPHONE: RADIOLOGICAL		317251	587183319-232	1520	6321			TELEPHONE	RADIOLOGICAL		01000	045 067
		36.55	MAR21 CELLPHONE: FARM MARKET		317251	587183319-232	2514	6321			TELEPHONE	FARMERS MARKET		02500	005
		72.58													
193306	3/24/2021	13.44	177303 STEIGE, KAREN REF CR BAL 12191 69TH AVE N		317250	0169219105 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S		08200	
		13.44													
193307	3/24/2021	1,334.88	100081 STREICHERS OPHOVEN VEST RENEWAL		316976	I1490736	1341	6213			CLOTHING & INDIV EQUIP	PATROL		01000	040 052
		179.94	MEDICAL TOURNIQUETS		316977	I1490256	1341	6205			SUPPLIES	PATROL		01000	040 052
		1,514.82													
193308	3/24/2021	22.37	177308 TEAL-REESE, CASSANDRA REF CR BAL 13804 85TH AVE N		317248	0185380406 032221	8200	2016			REFUNDS TO CUSTOMERS	WATER OPERATING FUND B/S		08200	
		22.37													
193310	3/24/2021	3,984.37	174108 TERRAFORM POWER-SFRC LLC FEB 21 SOLAR PROG CHARGES		317252	200100139143	2517	6381			ELECTRIC UTILITIES	SOLAR ENERGY PROGRAM		02500	005
		3,969.84	FEB 21 SOLAR PROG CHARGES		317253	200100139025	2517	6381			ELECTRIC UTILITIES	SOLAR ENERGY PROGRAM		02500	005



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193311	3/24/2021	3,824.44	FEB 21 SOLAR PROG CHARGES		317254	200100139092	2517	6381			ELECTRIC UTILITIES	SOLAR ENERGY PROGRAM	02500	005		
		3,744.14	FEB 21 SOLAR PROG CHARGES		317255	200100139097	2517	6381			ELECTRIC UTILITIES	SOLAR ENERGY PROGRAM	02500	005		
		3,197.83	FEB 21 SOLAR PROG CHARGES		317256	200100139102	2517	6381			ELECTRIC UTILITIES	SOLAR ENERGY PROGRAM	02500	005		
		18,730.62														
		145290 T-MOBILE (MONTHLY CELL BILLING)														
		28.70	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	2514	6321			TELEPHONE	FARMERS MARKET	02500	005		
		366.06	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	8256	6321			TELEPHONE	LOCATION/GOHPER STATE	08200			
		134.07	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	8206	6321			TELEPHONE	WATER ADMINISTRATION	08200			
		182.86	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1823	6321			TELEPHONE	STREET SIGN INSTALLATION	01000	055	085	
		355.88	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1721	6321			TELEPHONE	STREET ADMINISTRATION	01000	055	081	
193312	3/24/2021	220.99	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1600	6323			PAGERS/RADIOS	ENGINEERING ADMIN	01000	050	075	
		115.21	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1600	6321			TELEPHONE	ENGINEERING ADMIN	01000	050	075	
		75.04	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1541	6321			TELEPHONE	FIRE INSPECTIONS	01000	045	046	
		287.00	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1530	6321			TELEPHONE	BUILDING	01000	035	045	
		337.02	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1520	6321			TELEPHONE	RADIOLOGICAL	01000	045	067	
		49.66	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1504	6321			TELEPHONE	FIRE SCBA	01000	045	065	
		24.83	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1502	6321			TELEPHONE	FIRE TRAINING	01000	045	065	
		482.62	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1501	6321			TELEPHONE	FIRE RESPONSE	01000	045	065	
		23.29	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1500	6321			TELEPHONE	FIRE OPERATIONS ADMIN	01000	045	065	
		344.40	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1381	6323			RADIOS/MDCs	INVESTIGATION ADMIN	01000	040	053	
193313	3/24/2021	57.40	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1346	6323			RADIOS/MDCs	PATROL-K9	01000	040	052	
		28.70	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1345	6323			RADIOS/MDCs	PATROL-EMERGENCY RESPONSE	01000	040	052	
		1,287.07	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1341	6323			RADIOS/MDCs	PATROL	01000	040	052	
		57.40	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1280	6321			TELEPHONE	ASSESSING OPERATIONS	01000	030	040	
		563.49	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1270	6321			TELEPHONE	INFORMATION TECHNOLOGY	01000	025	035	
		24.83	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1241	6321			TELEPHONE	ZONING	01000	015	020	
		154.16	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1211	6321			TELEPHONE	COMMUNITY DEVELOPMENT ADMIN	01000	015	020	
		19.27	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1105	6321			TELEPHONE	ADMINISTRATION	01000	005	002	
		96.35	MAR21 CELL & DATA SERVICE		317200	815655213 3/21	1100	6321			TELEPHONE	MAYOR AND COUNCIL	01000	005	001	
		5,316.30														
193314	3/24/2021	520.29	145290 T-MOBILE (MONTHLY CELL BILLING)													
		520.29	FEB 21 CHARGES - SR TABLETS		317257	961894458 2/21	2581	6321			TELEPHONE	PARK - SENIOR TABLET PROG	02500	060		
193315	3/24/2021	5.90	177295 TRUIST FINANCIAL													
		5.90	INVOICE FOR 20-16362		317201	SS-125772	1381	6301			PROFESSIONAL SERVICES	INVESTIGATION ADMIN	01000	040	053	
193316	3/24/2021	480.00	100360 UHL COMPANY INC													
		6,480.00	VAV/OCCUPANCY SENSORS		316940	30479	1702	6401			REPAIR/MAINT BUILDING	GOVT BLDG-PUBLIC WORKS	01000	070	080	
		1,461.58	REPLACE HP CC-101		317202	29688A	1701	6401			REPAIR/MAINT BUILDING	GOVT BLDG-CITY HALL	01000	070	080	
			CORAYVAC MAKING NOISE		317203	31303	1713	6401			REPAIR/MAINT BUILDING	GOVT BLDG-FIRE STATION #4	01000	070	080	

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		2,496.49	SVC: PW SERVER RM AC UNIT		317204	29958	1702	6401			REPAIR/MAINT BUILDING	GOVT BLDG-PUBLIC WORKS	01000	070 080
		10,918.07												
<b>193316</b>	<b>3/24/2021</b>		<b>173964 UNIFIRST CORPORATION</b>											
		19.84	UNIFORMS		316941	0611852	1701	6213			CLOTHING & INDIV EQUIP	GOVT BLDG-CITY HALL	01000	070 080
		63.08	UTIL WATER UNIFORMS		316972	0611853	8206	6213			CLOTHING & INDIV EQUIP	WATER ADMINISTRATION	08200	
		63.53	UTIL SEWER UNIFORMS		316972	0611853	8306	6213			CLOTHING & INDIV EQUIP	SEWER ADMINISTRATION	08300	
		39.20	FLOOR MATS.		317205	0613178	1702	6401			REPAIR/MAINT BUILDING	GOVT BLDG-PUBLIC WORKS	01000	070 080
		26.40	RAGS.		317205	0613178	9506	6205			SUPPLIES	CE REPAIR	09500	
		4.29	JIMS CLOTHES.		317205	0613178	9505	6213			CLOTHING & INDIV EQUIP	CE ADMINISTRATION	09500	
		38.72	MECHANICS CLOTHES.		317205	0613178	9506	6213			CLOTHING & INDIV EQUIP	CE REPAIR	09500	
		13.31	UNIFORMS		317206	0613175	1701	6213			CLOTHING & INDIV EQUIP	GOVT BLDG-CITY HALL	01000	070 080
		147.36	STREET CLOTHING		317229	0613177	1721	6213			CLOTHING & INDIV EQUIP	STREET ADMINISTRATION	01000	055 081
		415.73												
<b>193317</b>	<b>3/24/2021</b>		<b>177245 VERACITIESPBC</b>											
		1,185.00	3 DETECTIVES - ONLINE TRAIN		317259	2012	1381	6454			CONFERENCE/TRAINING EXPENSE	INVESTIGATION ADMIN	01000	040 053
		1,185.00												
<b>193318</b>	<b>3/24/2021</b>		<b>123278 VESCO INC</b>											
		28.16	WTP SUPPLIES		316973	82726	8221	6205			SUPPLIES	TREATMENT PLANT	08200	
		28.16												
<b>193320</b>	<b>3/24/2021</b>		<b>133762 WSB &amp; ASSOCIATES INC</b>											
		2,613.50	CSAH 101 FRM 74TH AVE TO 83RD		317207	R-017554-000-2	3202	6301			PROFESSIONAL SERVICES	TRUNK STREET CONSTRUCTION	03202	110
		2,613.50												
<b>193322</b>	<b>3/24/2021</b>		<b>160693 1ST AYD CORPORATION</b>											
		143.32	INV# PSI436350	00024402	316981	PSI436350	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		143.32												
<b>193323</b>	<b>3/24/2021</b>		<b>115023 ABM EQUIPMENT &amp; SUPPLY LLC</b>											
		78.54	INV# 0166579-IN	00024344	316738	0166579-IN	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		870.58	MV PLOW EDGE - LEFT	00024330	316739	0166576-IN	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		949.12												
<b>193324</b>	<b>3/24/2021</b>		<b>167930 ACTION FLEET LLC</b>											
		95.00	INV# I4064	00024347	316740	I4064	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		42.50	INV# I4097	00024382	316982	I4097	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		95.00	INV# I4102	00024436	316983	I4102	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		232.50												
<b>193325</b>	<b>3/24/2021</b>		<b>106843 ASTELFORD INTERNATIONAL TRUCK</b>											
		42.23	OIL FILTER FOR IHC	00024331	316741	01P30351	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		295.42	INV# 01P27814	00024341	316742	01P27814	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	
		64.02	INV# 01P27797	00024338	316743	01P27797	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500	

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## Council Check Summary

3/24/2021 - 3/24/2021

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193326	3/24/2021	295.42-	INV# 01P30518	00024364	316744	01P30518	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		64.02-	INV# 01P30506	00024361	316745	01P30506	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		33.91	FAN BELT 11-4	00024377	316984	01P30045	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		160.35	INV# 01P30696	00024387	316985	01P30696	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		33.91	INV# 01P30215	00024384	316986	01P30215	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		2,104.00	INV# 01P30044	00024385	317025	01P30044	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		2,374.40													
193327	3/24/2021		100125 EMERGENCY APPARATUS MAINTENANCE INC												
		560.41	INV# 116494	00024409	316987	116494	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		329.47	INV# 116488	00024408	316988	116488	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		560.41	INV# 116486	00024407	316989	116486	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		487.17	INV# 116267	00024406	316991	116267	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		508.59	INV# 116487	00024404	316992	116487	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193328	3/24/2021	515.99	INV# 116489	00024405	317011	116489	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		1,547.22	INV# 116377	00024403	317027	116377	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		4,509.26													
			161727 FLEETPRIDE												
		74.10	#24 BRAKE CHAMBER	00024332	316748	69583512	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		401.19	INV# 69715299	00024389	316993	69715299	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		475.29													
193329	3/24/2021		106496 INTERSTATE POWER SYSTEMS INC												
		61.89	KODIAK FUEL FILTER	00024372	316999	C001171626.01	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		61.89													
			157851 KREMER SERVICES LLC												
		8.32	INV# 72973	00024328	316749	72973	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		1,062.10	INV# 73072	00024360	316756	73072	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193330	3/24/2021	1,152.11	INV# 73159	00024435	317028	73159	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		2,222.53													
			107300 LANO EQUIPMENT INC												
		472.10	INV# 02-816671	00024326	316750	02-816671	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		151.63	INV# 03-817137	00024388	317000	03-817137	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		623.73													
193331	3/24/2021		138019 LUTHER BROOKDALE CHEVROLET												
		36.76	INV# 516723	00024336	316751	516723	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		36.76-	INV# CM516723	00024337	316752	CM516723	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		33.56	INV# 515951	00024392	316994	515951	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		59.08	INV# 516014	00024394	316995	516014	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		109.85	INV# 515766	00024396	316996	515766	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		8.52	INV# 517562	00024381	316997	517562	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		





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Council Check Summary

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193353	3/24/2021	1,842.19	177258 CRAVE MAPLE GROVE LLC											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317054	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193354	3/24/2021	1,842.19	177260 DAVE & BUSTER'S INC											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317057	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193355	3/24/2021	1,842.19	177282 EL RODEO MEXICAN RESTAURANT											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317084	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193356	3/24/2021	1,842.19	177259 FAMOUS DAVE'S MAPLE GROVE											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317056	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193357	3/24/2021	516.68	133203 FRANKIE'S CHICAGO SYLE PIZZA											
		516.68	20-21 LIQ LIC REBATE-COVID		317090	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		516.68												
193358	3/24/2021	1,842.19	132416 GRANITE CITY FOOD & BREWERY											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317063	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193359	3/24/2021	1,842.19	177265 GRILL HALL CHURRASCARIA											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317064	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193360	3/24/2021	1,842.19	130724 HILTON GARDEN INN											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317041	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193361	3/24/2021	1,842.19	177267 HOLIDAY INN MAPLE GROVE											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317067	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193362	3/24/2021	516.68	177269 HONG THAI INC											
		516.68	20-21 LIQ LIC REBATE-COVID		317068	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		516.68												
193363	3/24/2021	1,842.19	177268 HY-VEE MARKET GRILLE EXPRESS											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317069	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193364	3/24/2021	516.68	177270 ICHIDDO RAMEN											
		516.68	20-21 LIQ LIC REBATE-COVID		317071	2020-2021 REBATE	1001	4155		00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	







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## Council Check Summary

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		1,842.19	20-21 LIQ LIC REBATE-COVID		317091	2020-2021	REBATE	1001	4155	00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193390	3/24/2021		177248 TERESA'S MEXICAN RESTAURANT											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317043	2020-2021	REBATE	1001	4155	00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193391	3/24/2021		177254 TGI FRIDAYS - REFUND											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317050	2020-2021	REBATE	1001	4155	00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193392	3/24/2021		177261 THE GREAT GREEK											
		516.68	20-21 LIQ LIC REBATE-COVID		317058	2020-2021	REBATE	1001	4155	00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		516.68												
193393	3/24/2021		177292 WAHLBURGERS											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317070	2020-2021	REBATE	1001	4155	00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												
193394	3/24/2021		177291 WHIRLYBALL TWIN CITIES											
		1,842.19	20-21 LIQ LIC REBATE-COVID		317092	2020-2021	REBATE	1001	4155	00000050	ALCOHOL BEVERAGE LICENSES	GENERAL FUND REVENUES	01000	
		1,842.19												

Report Totals

621,626.20

# Attachment B

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MAPLE GROVE

Council Check Summary

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R55CKS2 MGCITY100

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Company	Amount
01000 GENERAL FUND	45,356.72
02300 TRANSIT FUND	12,320.39
02375 TRAINING FACILITY FUND	7,013.28
02500 COMMUNITY RESOURCES	26,681.23
02900 PUPS IMPOUND FACILITY	2,648.16
03201 LONG TERM DEVELOPMENT FUND	1,500.00
03202 TRUNK STREET CONSTRUCTION	54,926.39
03205 STORM SEWER CONSTRUCTION FUND	6,656.50
03457 2018 IMPROVEMENT PROJECT FUN	27,100.32
03459 2019 IMPROVEMENT PROJECT FUND	55,834.70
03460 2020 ROAD RECONSTRUCTION FUND	1,174.00
03461 2020 IMPROVEMENT PROJECT FUND	305,030.47
03462 2021 ROAD RECONSTRUCTION	34,708.50
03463 2021 IMPROVEMENT PROJECT FUND	30,065.48
08200 WATER OPERATING FUND	14,610.29
08300 SEWER OPERATING FUND	1,210.13
08400 STREET LIGHTING FUND	3,818.23
09500 CENTRAL EQUIPMENT FUND	66,552.67
09575 INSURANCE FUND	5,672.00
09700 ESCROW FUND	51,500.00
Report Totals	701,017.00





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## Council Check Summary

3/31/2021 - 3/31/2021

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193438	3/31/2021	87.28	100101 GRAINGER		317464	9847450211	1822	6205			SUPPLIES	STREET SIGN MAINTENANCE	01000	055	085
		87.28													
193439	3/31/2021	3.00	164039 GREAT HARVEST BREAD CO		317424	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
		100.00	\$1 MARKET BUCKS: 3		317424	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
		103.00	\$5 MARKET TOKENS: 20												
193440	3/31/2021	2.00	173248 GREAT NORTHERN MICROGREENS		317425	3212021	2514	4737			EBT FUNDS	FARMERS MARKET	02500	005	
		40.00	\$1 EBT TOKENS: 2		317425	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
		10.00	\$5 MARKET TOKENS: 8		317425	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
		52.00	\$1 MARKET BUCKS: 10												
193441	3/31/2021	19.80	154636 GROUP HEALTH INC		317311	J815614	1201	6301			PROFESSIONAL SERVICES	WELLNESS PROGRAM	01000	010	015
		19.80	NON MEMBER SERVICES												
193442	3/31/2021	15.00	172273 HACIENDA SAN JOSE		317426	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
		15.00	\$5 MARKET TOKENS: 3												
193443	3/31/2021	788.00	107681 HENNEPIN COUNTY COMMUNITY CORRECTIONS &		317312	1000163337	1431	6305			CORRECTION SERVICES	CORRECTIONS	01000	040	055
		788.00	FEB JAIL HOLDS/BOOKING COUNTY												
193444	3/31/2021	488.57	100453 HENNEPIN COUNTY INFORMATION TECHNOLOGY		317280	1000162630	1341	6323			RADIOS/MDCs	PATROL	01000	040	052
		280.44	MOBILE RADIOS		317280	1000162630	1381	6323			RADIOS/MDCs	INVESTIGATION ADMIN	01000	040	053
		72.91	12 MOBILE RADIOS		317280	1000162630	1432	6323			RADIOS/MDCs	DETENTION FACILITY	01000	040	055
		72.91	1 MDC		317280	1000162630	1418	6323			RADIOS/MDCs	CSO-CRIME PREVENTION	01000	040	056
		291.64	1 MDC		317280	1000162630	1411	6323			RADIOS/MDCs	CSO-GENERAL ADMIN	01000	040	054
		291.64	4 MDC		317280	1000162630	1401	6323			RADIOS/MDCs	SAFE STREETS ADMIN	01000	040	056
		72.91	1 MDC		317280	1000162630	1390	6323			RADIOS/MDCs	INVESTIGATION-DRUG TASK F	01000	040	056
		72.91	1 MDC		317280	1000162630	1301	6323			RADIOS/MDCs	POLICE ADMIN	01000	040	050
		583.28	8 MDC		317280	1000162630	1381	6323			RADIOS/MDCs	INVESTIGATION ADMIN	01000	040	053
		23.37	1 HT		317280	1000162630	1418	6323			RADIOS/MDCs	CSO-CRIME PREVENTION	01000	040	056
		163.59	7 HT		317280	1000162630	1411	6323			RADIOS/MDCs	CSO-GENERAL ADMIN	01000	040	054
		93.48	4 HT		317280	1000162630	1401	6323			RADIOS/MDCs	SAFE STREETS ADMIN	01000	040	056
		373.92	16 HT		317280	1000162630	1381	6323			RADIOS/MDCs	INVESTIGATION ADMIN	01000	040	053
		1,519.05	65 HT		317280	1000162630	1341	6323			RADIOS/MDCs	PATROL	01000	040	052
		46.74	2 HT		317280	1000162630	1321	6323			RADIOS/MDCs	PROFESSIONAL STANDARDS-AD	01000	040	051
		23.37	1 HT		317280	1000162630	1390	6323			RADIOS/MDCs	INVESTIGATION-DRUG TASK F	01000	040	056
		23.37	1 HT		317280	1000162630	1301	6323			RADIOS/MDCs	POLICE ADMIN	01000	040	050





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193469	3/31/2021	5,046.25	156736 NTL-NORTHERN TECHNOLOGIES LLC												
		5,046.25	20-08 ELM ROAD TESTING		317378	38075	4845	6301	T		ENGINEERING TESTING	2020-08 ELM ROAD CONSTRUC	03461	375	
193470	3/31/2021	50.00	130281 OHMAN, DOUG												
		50.00	DOUG OHMAN ZOOM PRESENTATION		317430	44278	2572	6205			SUPPLIES	PARK GENERAL REC DONATION	02500	060	
193471	3/31/2021	48,819.12	127882 OMANN BROTHERS INC												
		48,819.12	PROJ 19-18: PAY NO 4-FINAL		317379	19-18:PAY4-FINAL	4837	6505	C		CONSTRUCTION	2019-18 GROVE 12 ADN 99TH	03459	375	
193472	3/31/2021	296.00	170299 PALMER WEST CCI												
		296.00	REPAIR SCUPPER N.W. SEAM NEW/O		317282	5669	1710	6401			REPAIR/MAINT BUILDING	GOVT BLDG-FIRE STATION #1	01000	070	080
193473	3/31/2021	25.00	173176 PET WANTS MINNEAPOLIS												
		25.00	\$5 MARKET TOKENS: 5		317431	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
193474	3/31/2021	10.00	175113 PLEASE & THANK YOU GRANOLA BARS												
		10.00	\$5 MARKET TOKENS: 2		317432	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
193475	3/31/2021	15.00	176873 PURE GINGER FOR YOU												
		15.00	\$5 MARKET TOKENS: 3		317433	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
193476	3/31/2021	10.00	173175 RAPHA FARMS												
		10.00	\$5 MARKET TOKENS: 2		317434	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
193480	3/31/2021	2,584.00	162387 RL LARSON EXCAVATING INC												
		2,584.00	PROJ 19-08: PAY APP 3		317273	19-08:PAY3	4824	6505	C		CONSTRUCTION	2019-08 TERRITORIAL GREEN	03459	375	
193481	3/31/2021	12.00	159991 RUTER FARM PRODUCE												
		30.00	\$1 EBT TOKENS: 12		317437	3212021	2514	4737			EBT FUNDS	FARMERS MARKET	02500	005	
		42.00	\$5 MARKET TOKENS: 6		317437	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
193483	3/31/2021	100.00	162623 SCHYMA'S PICKLES & PRESERVES												
		100.00	\$5 MARKET TOKENS: 20		317438	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
193485	3/31/2021	30.00	175117 SILVERBOOM COFFEE												
		30.00	\$5 MARKET TOKENS: 6		317439	3212021	2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	



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## Council Check Summary

3/31/2021 - 3/31/2021

Check #	Date	Amount	Supplier / Explanation	PO#	Doc No	Inv No	BU	Obj	Sub	Subledger	Account Description	BU Description	Co	Dept	Div
193486	3/31/2021	4,431.58	100210 SRF CONSULTING GROUP INC				4825	6301	F		ENGINEERING FIELD	2019-11 WINDROSE MKRT RUS	03459	375	
		4,431.58	19-11WINDROSE FIELD WORK		317285	12653.00-16									
193487	3/31/2021	105.98	100081 STREICHERS				1341	6213			CLOTHING & INDIV EQUIP	PATROL	01000	040	052
		855.92	NEW HIRE ORTMAN		317283	1489653					SUPPLIES	PATROL	01000	040	052
		961.90	BADGES		317469	1492709	1341	6205							
193488	3/31/2021	9,500.00	110359 SUBURBAN TRANSIT ASSOCIATION				2305	6451			DUES AND MEMBERSHIPS	TRANSIT OPERATIONS	02300	005	008
		9,500.00	MB44 2021 MTA MEMBERSHIP DUES		317300	2021									
193489	3/31/2021	75.00	160711 SUGAR BUSH RIDGE FARM / HONEY HUT				2514	6325			ADVERTISING/PROMOTIONS	FARMERS MARKET	02500	005	
		75.00	\$5 MARKET TOKENS: 15		317440	3212021									
193490	3/31/2021	1,995.00	167454 SUSTEEN INC				1381	6403	SM		SOFTWARE MAINTENANCE	INVESTIGATION ADMIN	01000	040	053
		1,995.00	SECURE VIEW SOFTWARE-1 YR		317315	9844403									
193492	3/31/2021	2,083.97	100360 UHL COMPANY INC				2905	6401			REPAIR/MAINT BUILDING	PUPS ADMINISTRATION	02900	040	057
		2,083.97	SVC. AHU OVER HEATING		317472	30477									
193493	3/31/2021	62.07	173964 UNIFIRST CORPORATION				8206	6213			CLOTHING & INDIV EQUIP	WATER ADMINISTRATION	08200		
		62.08	UTIL WATER UNIFORMS		317316	0613176					CLOTHING & INDIV EQUIP	SEWER ADMINISTRATION	08300		
		227.06	UTIL SEWER UNIFORMS		317316	0613176	8306	6213			CLOTHING & INDIV EQUIP	STREET ADMINISTRATION	01000	055	081
		13.31	STREET CLOTHING		317473	0614485	1721	6213			CLOTHING & INDIV EQUIP	GOVT BLDG-CITY HALL	01000	070	080
		364.52	UNIFORMS		317474	0614483	1701	6213							
193494	3/31/2021	272.00	177332 USI INSURANCE SERVICES LLC				9577	6362			PROPERTY INSURANCE	INSURANCE PREMIUMS	09575		
		5,400.00	21/22 COMPUTER POLICY ENDORSMT		317475	3657672					PROPERTY INSURANCE	INSURANCE PREMIUMS	09575		
		5,672.00	21/22 COMPUTER POLICY		317476	3657667	9577	6362							
193495	3/31/2021	20.00	161574 VIKING AUTOMATIC SPRINKLER				1001	4222			FIRE PERMITS	GENERAL FUND REVENUES	01000		
		20.00	PERMIT REFUND		317298	44278									
193497	3/31/2021	72.00	153546 WALLGREN, TAVIS				8206	6213			CLOTHING & INDIV EQUIP	WATER ADMINISTRATION	08200		
		72.00	GEAR REIMBURSE PER CONTRACT		317317	3172021									
193499	3/31/2021	11,339.51	171306 WORLD FUEL SERVICES INC								INVENTORY-FUEL	CENTRAL EQUIPMENT FUND B/	09500		
		4,066.03	2 PRODUCT FUEL DELIVERY.		317380	224680131928-41801	9500	1410			INVENTORY-FUEL	CENTRAL EQUIPMENT FUND B/	09500		
			DIESEL FUEL DELIVERY.		317381	224699573360-41801	9500	1410							

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## Council Check Summary

3/31/2021 - 3/31/2021

Check #	Date	Amount	Supplier / Explanation	PO#	Doc No	Inv No	BU	Obj	Sub	Subledger	Account Description	BU Description	Co	Dept	Div
		4,658.54	GASOLINE FUEL DELIVERY.		317382	224390940627-4	1801	9500	1410		INVENTORY-FUEL	CENTRAL EQUIPMENT FUND B/	09500		
		20,064.08													
<b>193500</b>	<b>3/31/2021</b>		<b>133762 WSB &amp; ASSOCIATES INC</b>												
		2,921.50	FEB 2021WL SUBWATERSHED ASSESS		317274	R-015763-000-8	1610	6301			PROFESSIONAL SERVICES	WATER QUALITY	01000	050	076
		441.00	2/1-2/28/21 FLRL CARP PROJECT		317275	R-014371-000-14	1610	6301			PROFESSIONAL SERVICES	WATER QUALITY	01000	050	076
		506.25	2/1-2/28/21 MS4 SERVICES		317276	R-013631-000-24	4882	6301	F		ENGINEERING FIELD	2013-12 NPDES SWPPP ASSES	03205		375
		6,150.25	20-15 DESIGN		317277	R-016309-000-9	4853	6301	D		ENGINEERING DESIGN	2020-15 EVERST LN STREAM	03205		375
		11,535.00	21-02 ROAD RECONST DESIGN WORK		317286	R-016384-000-6	4855	6301	D		ENGINEERING DESIGN	2021-02 ROAD RECONSTRUCTI	03462		375
		8,548.75	CSAH 101 @ RUSH CREEK DESIGN		317287	R-017086-000-4	3202	6301			PROFESSIONAL SERVICES	TRUNK STREET CONSTRUCTION	03202	110	
		621.50	20-04 STREET RECON CONST SVS		317288	R-014266-000-21	4832	6301	F		ENGINEERING FIELD	2020-04 ROAD RECONSTRUCTI	03460		375
		19,997.50	21-02 ROAD RECONST DESIGN WORK		317289	R-017204-000-4	4855	6301	D		ENGINEERING DESIGN	2021-02 ROAD RECONSTRUCTI	03462		375
		16,360.00	20-19 FERN/TERR RD DESIGN		317290	R-016682-000-7	4852	6301	D		ENGINEERING DESIGN	2020-19 TERRITRL RD ROUND	03202		375
		3,176.00	21-01 APP WOODS DESIGN WORK		317291	R-016383-000-6	4854	6301	D		ENGINEERING DESIGN	2021-01 ROAD RECONSTRUCTI	03462		375
		2,891.00	20-19 FB/TERR RD LRIP APP		317292	R-017553-000-2	4852	6301	D		ENGINEERING DESIGN	2020-19 TERRITRL RD ROUND	03202		375
		34,432.75	20-08 ELM ROAD CONSTRUCTION		317383	R-015486-000-14	4845	6301	F		ENGINEERING FIELD	2020-08 ELM ROAD CONSTRUCT	03461		375
		562.50	20-03 HILLERAW LAKE STREET REC		317384	R-014265-000-20	4831	6301	F		ENGINEERING FIELD	2020-03 ROAD RECONSTRUCTI	03460		375
		1,887.14	MASTER PLANNING MAIN ST INV 7		317417	R-016672-000-7	1227	6301			PROFESSIONAL SERVICES	LONG-RANGE PLANNING	01000	015	020
		110,021.14													
<b>193501</b>	<b>3/31/2021</b>		<b>100173 XCEL ENERGY</b>												
		27,375.23-	FEB21 SOLAR GARDEN #2		317385	51-4592528-4 2/21	2517	4729			MISCELLANEOUS REV	SOLAR ENERGY PROGRAM	02500	005	
		8.05	FEB21 ELECTRIC: WLR SIREN		317385	51-4592528-4 2/21	1441	6381			ELECTRIC UTILITIES	EMERGENCY PREPAREDNESS	01000	045	059
		13.36	FEB21 ELECTRIC: BCT SIREN		317385	51-4592528-4 2/21	1441	6381			ELECTRIC UTILITIES	EMERGENCY PREPAREDNESS	01000	045	059
		431.65	FEB21 ELECTRIC: FIRE SHOP		317385	51-4592528-4 2/21	1703	6381			ELECTRIC UTILITIES	GOVT BLDG-FIRE SHOP (WITC	01000	070	080
		19.96	FEB21 ELECTRIC: UB COLLECTOR		317385	51-4592528-4 2/21	8206	6381			ELECTRIC UTILITIES	WATER ADMINISTRATION	08200		
		2,820.39	MB32 FEB21 ELEC: PKWY STA		317385	51-4592528-4 2/21	2311	6381			ELECTRIC UTILITIES	PARKWAY STATION OPERATION	02300	005	008
		403.75	FEB21 ELECTRIC: FIRE 4		317385	51-4592528-4 2/21	1713	6381			ELECTRIC UTILITIES	GOVT BLDG-FIRE STATION #4	01000	070	080
		107.50	FEB21 ELECTRIC: RECYCLING		317385	51-4592528-4 2/21	1705	6381			ELECTRIC UTILITIES	GOVT BLDG-OLD FIRE STATIO	01000	070	080
		3,230.86	FEB21 ELECTRIC: LETF		317385	51-4592528-4 2/21	2380	6381			ELECTRIC UTILITIES	TRAINING FACILITY ADMIN	02375	040	058
		3,447.84	FEB21 ELECTRIC: PW		317385	51-4592528-4 2/21	1702	6381			ELECTRIC UTILITIES	GOVT BLDG-PUBLIC WORKS	01000	070	080
		667.49	FEB21 ELECTRIC: FIRE 2		317385	51-4592528-4 2/21	1711	6381			ELECTRIC UTILITIES	GOVT BLDG-FIRE STATION #2	01000	070	080
		490.19	FEB21 ELECTRIC: PUPS		317385	51-4592528-4 2/21	2905	6381			ELECTRIC UTILITIES	PUPS ADMINISTRATION	02900	040	057
		2,723.92	FEB21 ELECTRIC: ST LIGHTS		317385	51-4592528-4 2/21	8405	6381			ELECTRIC UTILITIES	STREET LIGHTING	08400		
		136.55	FEB21 ELECTRIC: PH #12		317385	51-4592528-4 2/21	8241	6381		00000112	ELECTRIC UTILITIES	WELLS	08200		
		2,552.54	FEB21 ELECTRIC: PH #13		317385	51-4592528-4 2/21	8241	6381		00000113	ELECTRIC UTILITIES	WELLS	08200		
		3,848.30	FEB21 ELECTRIC: PH #4		317385	51-4592528-4 2/21	8241	6381		00000104	ELECTRIC UTILITIES	WELLS	08200		
		265.02	FEB21 ELECTRIC: PH #2		317385	51-4592528-4 2/21	8241	6381		00000102	ELECTRIC UTILITIES	WELLS	08200		
		146.30	FEB21 ELECTRIC: PH #11		317385	51-4592528-4 2/21	8241	6381		00000111	ELECTRIC UTILITIES	WELLS	08200		
		480.90	FEB21 ELECTRIC: PH #3		317385	51-4592528-4 2/21	8241	6381		00000103	ELECTRIC UTILITIES	WELLS	08200		
		465.38	FEB21 ELECTRIC: PH #8		317385	51-4592528-4 2/21	8241	6381		00000108	ELECTRIC UTILITIES	WELLS	08200		
		414.81	FEB21 ELECTRIC: PH #6		317385	51-4592528-4 2/21	8241	6381		00000106	ELECTRIC UTILITIES	WELLS	08200		
		5,727.38	FEB21 ELECTRIC: PH #9		317385	51-4592528-4 2/21	8241	6381		00000109	ELECTRIC UTILITIES	WELLS	08200		



MAPLE GROVE  
Council Check Summary

3/31/2021 - 3/31/2021

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Check #	Date	Amount	Supplier / Explanation	PO#	Doc No	Inv No	BU	Obj	Sub	Subledger	Account Description	BU Description	Co	Dept	Dn
193507	3/31/2021	478.65 478.65	100125 EMERGENCY APPARATUS MAINTENANCE INC INV# 116279	00024468	317350	116279	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193508	3/31/2021	392.31 392.31	169217 EMERGENCY AUTOMOTIVE TECHNOLOGIES INC 9LED SQUARE WORK LIGHT	00024487	317349	MP011321-56	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193509	3/31/2021	678.66 91.55 91.55 184.36 104.00 411.23 1,561.35	161727 FLEETPRIDE INV# 70428184 INV# 70428184 IHC REAR BRAKE CHAMBER IHC REAR BRAKE CHAMBER RH IH SLACK ADJUSTER	00024457 00024461 00024475 00024493 00024497 00024496 00024498	317351 317351 317352 317353 317354 317354 317354	70428184 70428184 70668332 70533954 70521572 70521572 70521572	9500 9500 9500 9500 9500 9500 9500	2015 2015 2015 2015 2015 2015 2015	RNV RNV RNV RNV RNV RNV RNV		RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/	09500 09500 09500 09500 09500 09500 09500		
193510	3/31/2021	190.32 380.64 570.96	170330 GOODYEAR TIRE & RUBBER COMPANY INV# 124-1100971 INV# 124-1100971	00024463 00024466	317355 317355	124-1100971 124-1100971	9500 9500	2015 2015	RNV RNV		RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/	09500 09500		
193511	3/31/2021	122.37 122.37	100139 MACQUEEN EQUIPMENT LLC CABLE THROTTLE	00024451	317356	P33511	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193512	3/31/2021	894.00 894.00	154872 MANHEIM MINNEAPOLIS INV# 40420597	00024482	317357	40420597	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193513	3/31/2021	126.00 126.00	128760 MAPLE GROVE LOCK & SAFE INV# 25955	00024484	317358	25955	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193514	3/31/2021	588.59 588.59	100156 MTI DISTRIBUTING INC INV#1291386-00	00024448	317359	1291386-00	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
193515	3/31/2021	405.77 704.70 461.60 809.30 2,381.37	165361 OIL-AIR PRODUCTS LLC INV# 684615-002 INV# 684617-002 INV# 685278-003 NEW TAILGATE AUGER MOTOR	00024474 00024473 00024485 00024491	317360 317361 317362 317363	684615-002 684617-002 685278-003 685512-001	9500 9500 9500 9500	2015 2015 2015 2015	RNV RNV RNV RNV		RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/ CENTRAL EQUIPMENT FUND B/	09500 09500 09500 09500		

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## MAPLE GROVE

## Council Check Summary

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3/31/2021 - 3/31/2021

Check #	Date	Amount	Supplier / Explanation	PO#	Doc No	Inv No	BU	Obj	Sub	Subledger	Account Description	BU Description	Co	Dept	Div
193516	3/31/2021		170935 PARMAN ENERGY GROUP LLC												
		1,087.00	15W40 OIL (BY PINT)	00024454	317321	942960A-IN	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		63.63	INV#0942960-IN	00024453	317364	0942960-IN	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		1,150.63													
193517	3/31/2021		177293 POWERS PROTECTIVE COATINGS												
		362.39	INV# 031221-01	00024471	317365	031221-01	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		362.39													
193518	3/31/2021		100096 ROSENBAUER MINNESOTA LLC												
		2,107.86	INV# 0000045484	00024478	317322	0000045484	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		6,431.50	INV# 0000045539	00024480	317323	0000045539	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		2,002.32	INV# 0000045538	00024481	317324	0000045538	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		10,541.68													
193519	3/31/2021		110551 TENNANT SALES & SERVICE CO												
		41.35	INV# 917717184	00024469	317366	917717184	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		41.35													
193520	3/31/2021		174748 YOUNGSTEDTS CAR WASH												
		8.99	/20-40		317481	FEB 2021	10400	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	ENGINEERING	09500		
		8.99	/16-12		317481	FEB 2021	10506	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - CSO	09500		
		8.99	/16-54		317481	FEB 2021	10302	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	BUILDING	09500		
		12.99	/18-12		317481	FEB 2021	10502	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - PATROL	09500		
		8.99	/15-15		317481	FEB 2021	10500	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - ADMIN	09500		
		8.99	/16-11		317481	FEB 2021	10506	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - CSO	09500		
		8.99	/18-14		317481	FEB 2021	10502	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - PATROL	09500		
		8.99	/20-73		317481	FEB 2021	10500	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - ADMIN	09500		
		8.99	/18-14		317481	FEB 2021	10502	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - PATROL	09500		
		8.99	/16-12		317481	FEB 2021	10506	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - CSO	09500		
		8.99	/20-40		317481	FEB 2021	10400	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	ENGINEERING	09500		
		8.99	/20-73		317481	FEB 2021	10500	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - ADMIN	09500		
		8.99	/15-15		317481	FEB 2021	10500	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - ADMIN	09500		
		8.99	/16-13		317481	FEB 2021	10506	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - CSO	09500		
		8.99	/18-14		317481	FEB 2021	10502	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - PATROL	09500		
		8.99	/16-11		317481	FEB 2021	10506	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - CSO	09500		
		8.99	/16-12		317481	FEB 2021	10506	6410	CW		CENTRAL GARAGE REPAIR-CAR WA	POLICE - CSO	09500		
		156.83													
193521	3/31/2021		100247 ZIEGLER INC												
		107.68	CAT 938 WIPER	00024476	317367	IN000036408	9500	2015	RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/	09500		
		107.68													

Report Totals

701,017.00

# Attachment C

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MAPLE GROVE

Council Check Summary

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R550K52 MGCITY100  
Note: Payment amount may not reflect the actual amount due to data sequencing and/or data selection.

<u>Company</u>	<u>Amount</u>
01000 GENERAL FUND	138,192.21
02300 TRANSIT FUND	3,553.91
02375 TRAINING FACILITY FUND	604.93
02500 COMMUNITY RESOURCES	108,881.52
02900 PUPS IMPOUND FACILITY	751.67
08000 WATER CONNECTION FUND	205.80
08200 WATER OPERATING FUND	18,708.21
08300 SEWER OPERATING FUND	576.17
08400 STREET LIGHTING FUND	30,970.17
09500 CENTRAL EQUIPMENT FUND	138.82
09527 DATA PROCESSING REPLACEMENT	23,518.00
09550 BENEFITS FUND	191,579.00
Report Totals	517,680.41



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## Council Check Summary

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4/7/2021 - 4/7/2021														
Check #	Date	Amount	Supplier / Explanation	PO#	Doc No	Inv No	BU	Obj	Sub	Subledger	Account Description	BU Description	Co	Dept Div
		40.00	PERMIT PULLED IN ERROR		317582	348860	1001	4207			ELECTRICAL PERMITS	GENERAL FUND REVENUES		01000
		40.00												
193540	4/7/2021		128307 CENTURY COLLEGE											
		900.00	RIGHT TO KNOW TRAINING		317641	00739356	1502	6454			CONFERENCE/TRAINING EXPENSE	FIRE TRAINING		01000 045 065
		900.00												
193541	4/7/2021		106738 CERES ENVIRONMENTAL											
		30.00	TREE CUTTING DISPOSAL		317583	17174	1832	6384			REFUSE DISPOSAL/LANDFILL	TREE CUTTING		01000 055 086
		45.00	TREE CUTTING DISPOSAL		317584	17162	1832	6384			REFUSE DISPOSAL/LANDFILL	TREE CUTTING		01000 055 086
		45.00	TREE CUTTING DISPOSAL		317585	17168	1832	6384			REFUSE DISPOSAL/LANDFILL	TREE CUTTING		01000 055 086
		120.00												
193542	4/7/2021		155040 CHEMSEARCH											
		425.04	HYDRANT GREASE		317538	7304727	8255	6205			SUPPLIES	GENERAL DISTRIBUTION MAIN		08200
		425.04												
193543	4/7/2021		100064 CITY OF MAPLE GROVE											
		245.70	1ST QTR WATER/SEWER		317628	00052895-018913	2905	6389			OTHER UTILITIES	PUPS ADMINISTRATION		02900 040 057
						051021								
		58.43	MB32 Q1 2021 UB: MAIN TRANSIT		317642	00064834-009523	2308	6389			OTHER UTILITIES	TRANSIT STATION OPERATION		02300 005 008
		304.13												
193544	4/7/2021		128663 CITY OF PLYMOUTH											
		7,532.52	PLYMOUTH TZD Q1 2021		317539	2020-00000015	2536	6481			GRANT EXPENDITURE	POLICE GRANTS		02500 040
		7,532.52												
193545	4/7/2021		165143 COMPASS MINERALS AMERICA											
		15,881.95	UNTREATED ROAD SALT		317540	793292	1752	6224			ROAD MATERIALS	SANDING		01000 055 082
		20,960.14	UNTREATED ROAD SALT		317541	794001	1752	6224			ROAD MATERIALS	SANDING		01000 055 082
		29,340.41	UNTREATED ROAD SALT		317616	794529	1752	6224			ROAD MATERIALS	SANDING		01000 055 082
		66,182.50												
193546	4/7/2021		106902 COMPUTEX TECHNOLOGY SOLUTIONS											
		894.00	NUTANIX FILES LIC EXPAND 1TB		317542	456766	1270	6403	SM		SOFTWARE MAINTENANCE	INFORMATION TECHNOLOGY		01000 025 035
		5,783.00	2021 REPLACEMENTS BATCH 1		317543	456928	9527	6505			CAPITAL OUTLAY	DATA PROCESSING REPLACEMENT		09527
		6,677.00												
193547	4/7/2021		107464 CORE & MAIN LP											
		90.10	MATERIALS-88TH AVE SEWER		317544	N938912	8335	6205			SUPPLIES	SEWER DISTRIBUTION MAINTNE		08300
		423.99	GLADSTONE AIR RELIEF		317572	N930478	8321	6403		00000168	REPAIR/MAINT EQUIPMENT	LIFT STATIONS		08300
		3,525.00	HYDRANT		317573	N949249	8255	6205			SUPPLIES	GENERAL DISTRIBUTION MAIN		08200
		611.46	MATERIALS-W.M. REPAIRS		317573	N949249	8261	6205			SUPPLIES	WATER MAIN BREAKS		08200
		4,650.55												
193548	4/7/2021		173798 COVETRUS NORTH AMERICA											







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Council Check Summary

4/7/2021 - 4/7/2021

Check #	Date	Amount	Supplier / Explanation	PO#	Doc No	Inv No	BU	Obj	Sub	Subledger	Account Description	BU Description	Co	Dept	Div
193570	4/7/2021		172546 MC TOOL & SAFETY SALES												
		168.90	MESH SAFETY VESTS		317570	010256	8206	6213			CLOTHING & INDIV EQUIP	WATER ADMINISTRATION		08200	
		168.90	MESH SAFETY VESTS		317570	010256	1721	6213			CLOTHING & INDIV EQUIP	STREET ADMINISTRATION		01000	055 081
		444.60	(6) ASPHALT LUTE RAKES		317619	010200A	1771	6240			SMALL TOOLS	BLACKTOP MAINTENANCE		01000	055 083
		782.40													
193572	4/7/2021		174641 METRO ALARM CONTRACTORS												
		83.12	REFUND-PULLED WRONG PERMIT TYP		317646	348730	1001	4207			ELECTRICAL PERMITS	GENERAL FUND REVENUES		01000	
		83.12													
193573	4/7/2021		100448 MIDWEST PARATRANSIT SERVICES INC												
		2,561.20	MB15 MAR 21 COVID DISINFECT		317647	3184	2305	6301		00000050	PROFESSIONAL SERVICES	TRANSIT OPERATIONS		02300	005 008
		2,561.20													
193574	4/7/2021		117242 MINNEAPOLIS OXYGEN COMPANY												
		115.07	POLICE O2		317648	20184932	1341	6403			REPAIR/MAINT EQUIPMENT	PATROL		01000	040 052
		63.40	POLICE O2		317649	00074200	1341	6403			REPAIR/MAINT EQUIPMENT	PATROL		01000	040 052
		178.47													
193575	4/7/2021		174545 MINUTE MAKER SECRETARIAL												
		239.73	3-15-21 CITY COUNCIL MINUTES		317553	M1251	1112	6301			PROFESSIONAL SERVICES	CITY CLERK-OTHER		01000	005 003
		334.35	3-29-21 PLAN COMM MTG MINUTES		317553	M1251	1241	6301			PROFESSIONAL SERVICES	ZONING		01000	015 020
		574.08													
193579	4/7/2021		170379 NAASZ, ALEX												
		51.91	GEAR REIMBURSE PER CONTRACT		317620	3262021	1721	6213			CLOTHING & INDIV EQUIP	STREET ADMINISTRATION		01000	055 081
		51.91													
193580	4/7/2021		171758 NUTRIEN AG SOLUTIONS BIG LAKE MN (6516)												
		840.00	BLVD HERBICIDE		317554	44576287	1776	6212			CHEMICALS	BOULEVARD MAINTENANCE		01000	055 083
		840.00													
193581	4/7/2021		162308 PRECISE MRM LLC												
		800.00	FEB 21 MRM SUPPORT		317555	200-1030344	1751	6403	SM		SOFTWARE MAINTENANCE	SNOWPLOWING		01000	055 082
		800.00													
193582	4/7/2021		174877 QUADIENT FINANCE USA INC												
		194.91	POSTAGE SUPPLIES MARCH 2021		317567	MAR 2021	1105	6205			SUPPLIES	ADMINISTRATION		01000	005 002
		3,850.40	POSTAGE METER MARCH 2021		317567	MAR 2021	1105	6322			POSTAGE & METER	ADMINISTRATION		01000	005 002
		4,045.31													
193583	4/7/2021		163898 RAMY TURF PRODUCTS												
		1,268.70	GRASS SEED - SOD REPAIRS		317621	OP-75680-06	1776	6225			LANDSCAPING MATERIALS	BOULEVARD MAINTENANCE		01000	055 083
		1,268.70													
193584	4/7/2021		100609 REPUBLIC SERVICES 9813 FLYING CLOUD												
		37.71	MB32 APR21 TRASH SERV-PKWY ST		317632	0899-003710035	2311	6384			REFUSE DISPOSAL/LANDFILL	PARKWAY STATION OPERATION		02300	005 008
		101.26	APR21 TRASH SERVICE-PUPS		317632	0899-003710035	2905	6384			REFUSE DISPOSAL/LANDFILL	PUPS ADMINISTRATION		02900	040 057





MAPLE GROVE  
Council Check Summary

R55CKS2 MGCITY600V

4/7/2021 - 4/7/2021

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MAPLE GROVE  
Council Check Summary

4/7/2021 - 4/7/2021

Check #	Date	Amount	Supplier / Explanation	PO#	Doc No	Inv No	BU	Obj	Sub	Subledger	Account Description	BU Description	Co	Dept	Div
		7,500.00	2021 SAVES GRANT		317519	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		7,500.00													
193658	4/7/2021		175786 GROVE SALONS INC												
		5,000.00	2021 SAVES GRANT		317520	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		5,000.00													
193659	4/7/2021		175241 JLB PILATES LLC												
		5,000.00	2021 SAVES GRANT		317522	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		5,000.00													
193660	4/7/2021		176015 JOHNSON CHIROPRACTIC CLINIC												
		5,000.00	2021 SAVES GRANT		317523	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		5,000.00													
193661	4/7/2021		176615 KIDDIEGARTEN MAPLE GROVE LLC												
		5,000.00	2021 SAVES GRANT		317524	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		5,000.00													
193662	4/7/2021		176614 LE'S NAILS LLC												
		5,000.00	2021 SAVES GRANT		317525	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		5,000.00													
193663	4/7/2021		177344 LISA REINHARDT MAKEUP & HAIR ART LLC												
		2,500.00	2021 SAVES GRANT		317526	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		2,500.00													
193664	4/7/2021		177345 TA-DAH! HAIR LLC												
		2,500.00	2021 SAVES GRANT		317527	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		2,500.00													
193665	4/7/2021		177346 VIRACITY LLC												
		7,500.00	2021 SAVES GRANT		317528	2021 SAVES	2519	6489			LOAN GRANT PAYMENT	REVOLVING LOAN PROGRAM	02500	005	
		7,500.00													

Report Totals 517,680.41

Note: Payment amount may not reflect the actual amount due to data sequencing and/or data selection.

MAPLE GROVE

Council Check Summary

2/17/2021 - 2/17/2021

Company	Amount
01000 GENERAL FUND	14,004.36
02375 TRAINING FACILITY FUND	536.04
02500 COMMUNITY RESOURCES	308.89
02500 PUPS IMPOUND FACILITY	91.33
08200 WATER OPERATING FUND	86.40
08300 SEWER OPERATING FUND	409.99
09500 CENTRAL EQUIPMENT FUND	2,650.61
Report Totals	18,087.62

# Attachment D



2/17/2021 -- 2/17/2021

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
1515	2/17/2021		<b>160175 US BANK</b>							
		105.00	SCHEURER- MAAO DUES		316094	20210217143	1280.6451		DUES AND MEMBERSHIPS	ASSESSING OPERATIONS
			<b>Supplier</b> 166388 MN ASSOC OF ASSESSORS - PCARD							
		82.00	COLLINS-MLS ACCESS		316095	20210217144	1280.6452		SUBSCRIPTIONS/PRINTED MATERIAL	ASSESSING OPERATIONS
			<b>Supplier</b> 166769 REALTOR ASSOCIATION/MLS - PCARD							
		105.00	DEJONG- MAAO DUES		316096	20210217145	1280.6451		DUES AND MEMBERSHIPS	ASSESSING OPERATIONS
			<b>Supplier</b> 166388 MN ASSOC OF ASSESSORS - PCARD							
		20.00	FACEBOOK BOOSTED POSTS		316100	20210217146	1130.6325		ADVERTISING/PROMOTIONS	COMMUNICATIONS-BUDGET
			<b>Supplier</b> 169822 FACEBOOK - PCARD							
		105.00	MAIL CHIMP FEB 2021		316101	20210217147	1270.6403.SM		SOFTWARE MAINTENANCE	INFORMATION TECHNOLOGY
			<b>Supplier</b> 173451 MAILCHIMP - PCARD							
		250.00	2021 MEMBERSHIP RENEWAL		316197	20210217105	1211.6451		DUES AND MEMBERSHIPS	COMMUNITY DEVELOPMENT ADMIN
			<b>Supplier</b> 172492 SENS LAND USE COALITION - PCARD							
		47.95	OFFICE SUPPLIES		316198	20210217106	1211.6205		SUPPLIES	COMMUNITY DEVELOPMENT ADMIN
		27.00	NOTARY STAMP - PAVEK		316199	20210217108	1211.6205		SUPPLIES	COMMUNITY DEVELOPMENT ADMIN
			<b>Supplier</b> 166378 INNOVATIVE OFFICE SOL - PCARD							
		15.00	CORROW-MRKT UPDATE REGISTRN		316200	20210217107	1211.6454		CONFERENCE/TRAINING EXPENSE	COMMUNITY DEVELOPMENT ADMIN
			<b>Supplier</b> 172492 SENS LAND USE COALITION - PCARD							
		1,140.00	NDC202 REGISTRATION - ANGELL		316201	20210217102	1221.6454		CONFERENCE/TRAINING EXPENSE	ECONOMIC DEVELOPMENT ADMIN
			<b>Supplier</b> 174642 NATL DEV COUNCIL - PCARD							
		394.00	VEHICLE CHARGER		316202	20210217111	1503.6240		SMALL TOOLS	FIRE MAINTENANCE
			<b>Supplier</b> 166679 GRAINGER - PCARD							
		600.00	2021 MEMBERSHIP		316227	20210217124	1211.6451		DUES AND MEMBERSHIPS	COMMUNITY DEVELOPMENT ADMIN
			<b>Supplier</b> 170987 URBAN LAND INSTITUTE - PCARD							
		15.00	MARKET UPDATE		316228	20210217125	1211.6454		CONFERENCE/TRAINING EXPENSE	COMMUNITY DEVELOPMENT ADMIN
			<b>Supplier</b> 172492 SENS LAND USE COALITION - PCARD							
		120.00	SLIND MEMBERSHIP		316229	20210217126	1530.6451		DUES AND MEMBERSHIPS	BUILDING
			<b>Supplier</b> 171068 IAEI - PCARD							
		25.00	SLIND-DECK PLAN REVIEW SEMINAR		316230	20210217127	1530.6454		CONFERENCE/TRAINING EXPENSE	BUILDING
		25.00	SLIND-PREFAB SEMINAR		316231	20210217128	1530.6454		CONFERENCE/TRAINING EXPENSE	BUILDING
			<b>Supplier</b> 166372 DEPT OF LABOR & IND - PCARD							
		209.91	FILTERS BLOOD DRYING CABINET		316246	20210217134	1417.6205		SUPPLIES	PROPERTY ROOM
			<b>Supplier</b> 173255 AIR SCIENCE USA - PCARD							
		134.03	NIK TESTS		316247	20210217135	1417.6205		SUPPLIES	PROPERTY ROOM
			<b>Supplier</b> 173192 PUBLIC SAFETY CENTER - PCARD							
		184.99	OFFICE SUPPLIES		316248	20210217136	1321.6205		SUPPLIES	PROFESSIONAL STANDARDS-ADMIN
			<b>Supplier</b> 166378 INNOVATIVE OFFICE SOL - PCARD							
		34.65	OFFICE MAT S. PARKER		316249	20210217137	1381.6205		SUPPLIES	INVESTIGATION ADMIN
			<b>Supplier</b> 166368 AMAZON - PCARD							
		80.00	BODY CAMERA TRAINING		316250	20210217179	1341.6454		CONFERENCE/TRAINING EXPENSE	PATROL

Council Check Register by GL  
Council Check Register and Summary

2/17/2021 -- 2/17/2021

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
1515	2/17/2021		160175 US BANK						Continued...	
		40.02	Supplier 174473 MN SHERIFFS ASSOC - PCARD							
			OFFICE SUPPLIES	316251		20210217109	1105.6205		SUPPLIES	ADMINISTRATION
		222.32	OFFICE SUPPLIES ~ PASSPORTS	316251		20210217109	2518.6205		SUPPLIES	PASSPORT FACILITY
		520.88	Supplier 166378 INNOVATIVE OFFICE SOL - PCARD							
			OFFICE SUPPLIES	316252		20210217110	1105.6205	00000050	SUPPLIES	ADMINISTRATION
		86.57	Supplier 170427 DISPLAYS 2 GO - PCARD							
			RESERVES BANQUET	316345		20210217123	2529.6205		SUPPLIES	POLICE RESERVE OFFICER UNIT
		60.00	Supplier 166703 JIMMY JOHNS - PCARD							
			MELLEN-CSWEA SEWER SCHOOL	316346		20210217155	8306.6454		CONFERENCE/TRAINING EXPENSE	SEWER ADMINISTRATION
		60.00	CONGER-CSWEA SEWER SCHOOL	316347		20210217154	8306.6454		CONFERENCE/TRAINING EXPENSE	SEWER ADMINISTRATION
		60.00	B.NELSON-CSWEA SEWER SCHOOL	316348		20210217153	8306.6454		CONFERENCE/TRAINING EXPENSE	SEWER ADMINISTRATION
		50.00	LOKKEN-CSWEA SEWER SCHOOL	316349		20210217152	8306.6454		CONFERENCE/TRAINING EXPENSE	SEWER ADMINISTRATION
		50.00	FISCHER-CSWEA SEWER SCHOOL	316350		20210217151	8306.6454		CONFERENCE/TRAINING EXPENSE	SEWER ADMINISTRATION
		25.00	Supplier 176880 CSWEA - PCARD							
			GRIFFIN-DECK PLAN REVIEW SMNR	316351		20210217129	1530.6454		CONFERENCE/TRAINING EXPENSE	BUILDING
		25.00		316352		20210217130	1530.6454		CONFERENCE/TRAINING EXPENSE	BUILDING
		745.16	Supplier 166372 DEPT OF LABOR & IND - PCARD							
			CODE REFERENCE MATERIALS	316353		20210217131	1530.6205		SUPPLIES	BUILDING
		50.00	Supplier 166379 INT'L CODE COUNCIL - PCARD							
			JACKLITCH MN DLI LICENSE FEE	316354		20210217132	1530.6451		DUES AND MEMBERSHIPS	BUILDING
		310.00	Supplier 166372 DEPT OF LABOR & IND - PCARD							
			10,000 LAKES ICC MEMBERSHIP	316355		20210217133	1530.6451		DUES AND MEMBERSHIPS	BUILDING
		278.23	Supplier 170897 10000LAKES CHAPTER - PCARD							
			OFFICE SUPPLIES	316356		20210217104	1105.6205		SUPPLIES	ADMINISTRATION
		14.09	Supplier 173912 PELEMAN INDUSTRIES - PCARD							
			LABELING SUPPLIES	316357		20210217113	1503.6205		SUPPLIES	FIRE MAINTENANCE
		115.38	LAMINATING SUPPLIES	316358		20210217114	1503.6205		SUPPLIES	FIRE MAINTENANCE
		466.38	Supplier 166368 AMAZON - PCARD							
			LIFE VEST (PFD'S) REPLACEMENTS	316359		20210217112	1501.6213		CLOTHING & INDIV EQUIP	FIRE RESPONSE
		46.47	Supplier 166679 GRAINGER - PCARD							
			EXTENSION CORDS	316360		20210217115	1503.6240		SMALL TOOLS	FIRE MAINTENANCE
		25.65	MOUNTING TAPE	316361		20210217116	1501.6205		SUPPLIES	FIRE RESPONSE
		956.62	Supplier 166368 AMAZON - PCARD							
			REPLCMT K-SAW	316362		20210217177	1501.6240		SMALL TOOLS	FIRE RESPONSE
		956.62	REPLCMT K SAW	316363		20210217178	1501.6240		SMALL TOOLS	FIRE RESPONSE
		25.00	Supplier 166679 GRAINGER - PCARD							
			EMS UPDATE WEBINAR	316364		20210217142	1502.6454		CONFERENCE/TRAINING EXPENSE	FIRE TRAINING
		50.00	EMS UPDATE WEBINAR (2)	316365		20210217141	1502.6454		CONFERENCE/TRAINING EXPENSE	FIRE TRAINING
			Supplier 173254 HCMC EMS EDUCATION - PCARD							

Council Check Register by GL  
Council Check Register and Summary

2/17/2021 -- 2/17/2021

Check # 1515	Date 2/17/2021	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
			<b>160175 US BANK</b>						<b>Continued...</b>	
		1,128.00	OFFICER CLASS BOOKS (12)		316366	20210217140	1502.6454		CONFERENCE/TRAINING EXPENSE	FIRE TRAINING
		50.00	<b>Supplier</b> 174625 FIREFIGHTERS BOOKSTORE - PCARD							
			PAVEY-CSWEA SEWER SCHOOL		316367	20210217150	8306.6454		CONFERENCE/TRAINING EXPENSE	SEWER ADMINISTRATION
		50.00	<b>Supplier</b> 176880 CSWEA - PCARD							
			MCPA MEMBERSHIP		316368	20210217173	1418.6451		DUES AND MEMBERSHIPS	CSO-CRIME PREVENTION
		12.99-	<b>Supplier</b> 174653 MNCPA - ORG							
			BILLING ERROR CORRECTION		316369	20210217119	1346.6205		SUPPLIES	PATROL-K9
		174.98	<b>Supplier</b> 166368 AMAZON - PCARD							
			K9 EQUIPMENT		316370	20210217120	1346.6205		SUPPLIES	PATROL-K9
		49.99	<b>Supplier</b> 172733 RAYALLEN.COM - PCARD							
			SPACE HEATER FOR OFFICE		316371	20210217101	1411.6205		SUPPLIES	CSO-GENERAL ADMIN
		32.35-	<b>Supplier</b> 166368 AMAZON - PCARD							
			TAX REFUND ON TV PURCHASE		316372	20210217100	1341.6205		SUPPLIES	PATROL
		61.85	<b>Supplier</b> 166633 BEST BUY - PCARD							
			CELL FORENSICS SUPPLIES		316373	20210217174	1381.6205		SUPPLIES	INVESTIGATION ADMIN
		19.95	<b>Supplier</b> 166368 AMAZON - PCARD							
			JAN 21 EPERMITS FEE		316374	20210217175	1530.6478		CREDIT CARD EXPENSE	BUILDING
		16.52	<b>Supplier</b> 166394 PAYFLOW/PAYPAL - PCARD							
			INK STAMP PADS		316375	20210217176	1250.6205		SUPPLIES	FINANCE
		69.00	<b>Supplier</b> 166378 INNOVATIVE OFFICE SOL - PCARD							
		60.00	2021 MECA CONF-ASCHE		316377	20210217121	1600.6454		CONFERENCE/TRAINING EXPENSE	ENGINEERING ADMIN
			2021 MECA MEMBERSHIP-ASCHE		316378	20210217122	1600.6454		CONFERENCE/TRAINING EXPENSE	ENGINEERING ADMIN
		13.62	<b>Supplier</b> 177119 MN EROSION CONTROL - PCARD							
			ADD ACTIVE 911 - CNT		316379	20210217170	1345.6205		SUPPLIES	PATROL-EMERGENCY RESPONSE UNIT
		75.00	<b>Supplier</b> 170713 ACTIVE911 INC - PCARD							
			ANNUAL RESERVES ACKNWDGMT		316380	20210217165	1370.6205		SUPPLIES	POLICE RESERVES
		75.00	<b>Supplier</b> 166691 HOMEGOODS - PCARD							
			ANNUAL RESERVES ACKNWDGMT		316381	20210217167	1370.6205		SUPPLIES	POLICE RESERVES
		150.00	<b>Supplier</b> 169568 COSTCO - PCARD							
			ANNUAL RESERVES ACKNWDGMTS		316382	20210217168	1370.6205		SUPPLIES	POLICE RESERVES
		150.00	<b>Supplier</b> 166400 TARGET STORE - PCARD							
			ANNUAL RESERVES ACKNWDGMTS		316383	20210217169	1370.6205		SUPPLIES	POLICE RESERVES
		75.00	<b>Supplier</b> 170607 RESTAURANT - PCARD							
			ANNUAL RESERVES ACKNWDGMT		316384	20210217171	1370.6205		SUPPLIES	POLICE RESERVES
		75.00	<b>Supplier</b> 170656 STARBUCKS - PCARD							
			ANNUAL RESERVES ACKNWDGMT		316385	20210217172	1370.6205		SUPPLIES	POLICE RESERVES
		225.00	<b>Supplier</b> 170607 RESTAURANT - PCARD							
			POLICE RESERVES ACKNWDGMTS		316386	20210217166	1370.6205		SUPPLIES	POLICE RESERVES
			<b>Supplier</b> 169534 SUPERVALU CUB FOODS - PCARD							

2/17/2021 -- 2/17/2021

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>1515</b>	<b>2/17/2021</b>								<b>Continued...</b>	
		1,366.80	<b>160175 US BANK</b> EXAM PREP BOOKS		316403	20210217138	1502.6454		CONFERENCE/TRAINING EXPENSE	FIRE TRAINING
		91.33	<b>Supplier</b> 174625 FIREFIGHTERS BOOKSTORE - PCARD		316408	20210217103	2905.6205		SUPPLIES	PUPS ADMINISTRATION
		11.04	<b>Supplier</b> 166378 INNOVATIVE OFFICE SOL - PCARD		316409	20210217117	2380.6401		REPAIR/MAINT BUILDING	TRAINING FACILITY ADMIN
		525.00	<b>Supplier</b> 172287 CINTAS - PCARD		316410	20210217118	2380.6205		SUPPLIES	TRAINING FACILITY ADMIN
		1,064.55	<b>Supplier</b> 169881 SOUTHERN BLOOMER MFG - PCARD		316414	20210217139	1502.6454		CONFERENCE/TRAINING EXPENSE	FIRE TRAINING
		49.43	<b>Supplier</b> 171251 AED SUPERSTORE - PCARD		316582	20210217148	1390.6211		GAS/OIL/GREASE	INVESTIGATION-DRUG TASK FORCE
		51.22	<b>Supplier</b> 170439 HOLIDAY STATION - PCARD		316583	20210217149	1390.6211		GAS/OIL/GREASE	INVESTIGATION-DRUG TASK FORCE
		2.24	<b>Supplier</b> 170991 KWIK TRIP - PCARD		316709	20210217161	1341.6451		DUES AND MEMBERSHIPS	PATROL
		90.00	POST LICENSE - HATZENBELLER		316710	20210217158	1341.6451		DUES AND MEMBERSHIPS	PATROL
		2.24	POST LICENSE - MALESKI		316711	20210217162	1341.6451		DUES AND MEMBERSHIPS	PATROL
		90.00	POST LICENSE - MALESKI		316712	20210217159	1341.6451		DUES AND MEMBERSHIPS	PATROL
		2.24	POST LICENSE - IVANOV		316713	20210217163	1341.6451		DUES AND MEMBERSHIPS	PATROL
		9.80	<b>Supplier</b> 171034 POST BOARD LICENSING - PCARD		316718	20210217164	1301.6322		POSTAGE & METER	POLICE ADMIN
		90.00	<b>Supplier</b> 166819 USPS - PCARD		316719	20210217156	1341.6451		DUES AND MEMBERSHIPS	PATROL
		2.24	POST LICENSE - JOHNSON		316720	20210217160	1341.6451		DUES AND MEMBERSHIPS	PATROL
		90.00	POST LICENSE - JOHNSON		316721	20210217157	1341.6451		DUES AND MEMBERSHIPS	PATROL
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<b>1516</b>	<b>2/17/2021</b>									
		114.08	<b>160175 US BANK</b> INV. #1-6712332	00024062	314894	1-6712332	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		34.55	<b>Supplier</b> 100371 FACTORY MOTOR PARTS CO							
		23.74	INV# 042348	00024131	315314	042348	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		43.91	INV#042391	00024128	315315	042391	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		11.61	INV#042391	00024132	315315	042391	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		11.61	INV#042920	00024130	315316	042920	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		11.61	HALOGEN HD LIGHT	00024126	315317	042939	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		165.54	<b>Supplier</b> 100372 COTTENS NAPA - PCARD							
		11.00	INV# 128-107731	00024120	315318	128-107731	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			INV#128-107731	00024122	315318	128-107731	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S

Council Check Register by GL  
Council Check Register and Summary

3/23/2021 15:47:17

Page - 5

2/17/2021 -- 2/17/2021

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
1516	2/17/2021		150175 US BANK						Continued...	
		140.28	INV#128-107951	00024148	315320	128-107951	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		11.00	INV#128-107951	00024149	315320	128-107951	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			Supplier 100371 FACTORY MOTOR PARTS CO							
		39.90	INV# 044863	00024194	315855	044863	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		87.57	INV# 045058	00024175	315858	045058	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		249.78	MINI BULB	00024168	315859	044596	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		48.56	ADAPTER FITTING	00024153	315860		9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			Supplier 100372 COTTENS NAPA - PCARD							
		28.91	ENGINE OIL FILTER	00024150	315864	128-107969	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			Supplier 100371 FACTORY MOTOR PARTS CO							
		12.68	DODGE OIL FILTER	00024182	315922	045372	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			Supplier 100372 COTTENS NAPA - PCARD							
		855.00	I.H. HEATED WIPER BLADE	00024183	315923	24216	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			Supplier 174661 EVERBLADES INC							
		68.20	INV# 9976920544	00024222	316108	9976920544	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		194.34	INV# 9109538519	00024219	316109	9109538519	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			Supplier 100287 AIRGAS NORTH CENTRAL							
		219.50	TORQUE DISC SPROCKET	00024274	316119	148582	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		78.88	INV# 148399	00024296	316449	148399	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
		104.75	RPLS. 83605 1/4" BARB 1/4" FLA	00024291	316450	148384	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
			Supplier 100073 CUTTER INDUSTRIAL SALES INC							
		11.00-	INV# 128-107965	00024419	317024	128-107965	9500.2015.RNV		RECEIVED NOT VOUCHERED	CENTRAL EQUIPMENT FUND B/S
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		100.00	YEARS OF SERVICE AWARD	317104	2235744		1202.6205		SUPPLIES	EMPLOYEE RECOGNITION
		100.00	YEARS OF SERVICE AWARD	317105	400900049060		1202.6205		SUPPLIES	EMPLOYEE RECOGNITION
		100.00	BIAGGI/MAYORS CONTINGENCY	317106	539753		1100.6476		MAYORS CONTINGENCY ACCOUNT	MAYOR AND COUNCIL
		100.00	MN STATE COLLEGES/DOT TRNG	317107	302620		9505.6454		CONFERENCE/TRAINING EXPENSE	CE ADMINISTRATION
		100.00	MN STATE COLLEGES/DOT TRNG	317108	302979		9505.6454		CONFERENCE/TRAINING EXPENSE	CE ADMINISTRATION
		79.99	NAPA/AIR HOSE REEL	317109	042455		8306.6240		SMALL TOOLS	SEWER ADMINISTRATION
		86.40	NAPA/GAUGE, BLOWGUN	317110	042456		8255.6205		SUPPLIES	GENERAL DISTRIBUTION MAINT
		93.78-	CUTTER/CREDIT	317111	9085		9506.6205		SUPPLIES	CE REPAIR
		3,117.00								

Grand Total

Payment Instrument Totals

Checks

EFT Payments 18,087.62

Total Payments 18,087.62

## REQUEST FOR COUNCIL ACTION

April 19, 2021

**DATE**

6A

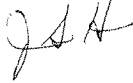
**AGENDA ITEM**

**ORIGINATING DEPT.**

**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

Community and Economic  
Development



Shake Shack  
Planned Unit Development  
Non-Residential Development Stage Plan  
Amendment



### PREVIOUS ACTIONS:

At their meeting of Monday, April 12, 2021, the Planning Commission recommend that the City Council direct the City Attorney to draft a Planned Unit Development Agreement and a Resolution approving the Shake Shack PUD non-residential development stage plan amendment, subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:
  - a. The Engineering Department dated February 24, 2021 and March 24, 2021
  - b. The Fire Department dated March 8, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

Applicant:	Prisa Abor Lakes, LLC
Application Received:	February 22, 2021
60 Day Review Deadline:	April 23, 2021
Additional 60 Day Review Deadline:	June 23, 2021
Address:	Lot 1, Block 1, PID 26-119-22-21-0003

### RECOMMENDED COUNCIL ACTION:

Motion to direct the City Attorney to draft a Planned Unit Development agreement and a Resolution approving the Shake Shack PUD non-residential development stage plan amendment, subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:
  - a. The Engineering Department dated February 24, 2021 and March 24, 2021
  - b. The Fire Department dated March 8, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

**(Simple majority vote for passage)**

---

**COMMENTS:**

The Shoppes at Arbor Lakes is seeking an amendment to its concept plan to allow a drive-through to be constructed as part of the planned Shake Shack restaurant. Shake Shack, which was initially approved in March, 2020, would be a stand-alone restaurant building located between the shopping center's primary access drive onto Elm Creek Boulevard and Red Lobster.

On March 29, 2021, the Planning Commission held a public hearing for the proposal. The proposal was ultimately tabled, so that the applicant could consider the following:

- Enhanced pedestrian connections to the existing shopping center.
- Vehicle stacking planning for peak drive-through traffic.
- Possible orientation shift of the building, to allow for the preservation of parking spaces nearest to the existing Potbelly's location.

Per the Planning Commission's request, the applicant has provided an alternate site layout plan. However, the applicant still wishes to move forward with the original plan, enhanced with pedestrian ramps and an additional ADA accessible parking space to serve Potbelly's. The original plan will preserve parking availability for existing businesses, while keeping the building as close as possible to the existing shopping center. This will allow synergy between the new restaurant and the main portion of the shopping center, and create the smallest amount of site disturbance.

Staff feels that after reviewing alternative layouts, the original layout, with the modifications mentioned, is the most efficient and productive option.

**ATTACHMENTS:**

Attachment A: Narrative  
Attachment B: Location Map  
Attachment C: Maps  
Attachment D: Exterior Design  
Attachment E: Alternate Layout 1  
Attachment F: Alternate Layout 2  
Attachment G: Site Plan Additions  
Attachment H: Drive Through Stacking Site Plan  
Attachment I: Memorandums

## **The Shoppes at Arbor Lakes**

### **Outparcel Addition – Shake Shack**

The Shoppes at Arbor Lakes is proposing the addition and new development of a stand-alone 3,200 square foot Shake Shack restaurant building in the northwest quadrant of the property, currently designated as vehicle parking. This proposed location would be their first in Maple Grove and only the third in the state of Minnesota (the first being constructed in a distant parking area of Southdale Mall).

Shake Shack is an American fast casual restaurant based in New York City with menu offerings of hot dogs, burgers, chicken, fries, and milkshakes. Since it's founding, it has been one of the fastest growing food chains, eventually becoming a public company in 2014. Shake Shack owns and operates more than 249 locations both domestically and internationally, typically in stand-alone restaurants and shopping centers.

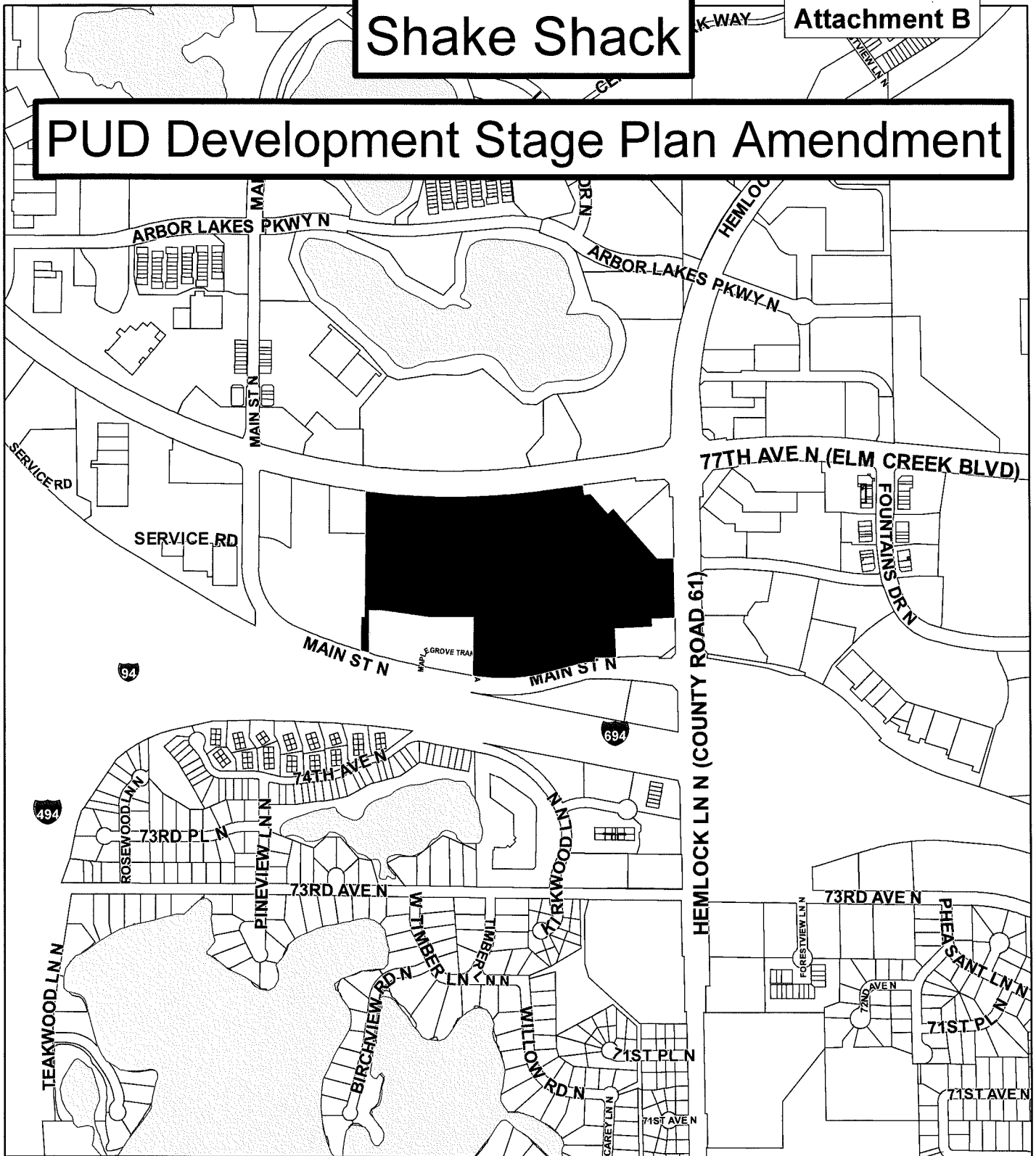
The proposed building location will be a focal point along Elm Creek Blvd. where the design captures a contemporary balance by combining clean lines, simple materials and a subtle pop of color. White corrugated ATAS, poured concrete flooring, light wood cladding, gray wall accent tile and simple lighting best describes Shake Shack's material palette. The proposed restaurant provides seated dining with a drive-thru.



# Shake Shack

Attachment B

## PUD Development Stage Plan Amendment



NEIGHBORHOOD LOCATION MAP



City of  
Maple Grove



0 250 500 1,000 Feet

Feet  
0500200  
Scale

## Attachment C

FOR  
**SHOPPES AT ARBOR LAKES OUTLOT**  
MAPLE GROVE, MN

**PREPARED BY:**

---

**Westwood**

Phone (952) 537-5150 12101 Whitestar Drive, Suite 400  
Fax (952) 537-5150 Minneapolis, MN 55424  
Toll Free (888) 937-5150 [www.westwood.com](http://www.westwood.com)  
Westwood Professional Services, Inc.

**PROJECT NUMBER: 0024684.00**

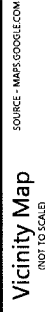
**CONTACT: JEFF R. WESTENDORF**

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300  
Fax (952) 937-5822 Minneapolis, MN 55343  
Toll Free (888) 937-5150 [westwoodga.com](http://westwoodga.com)  
Westwood Professional Services, Inc.

PROJECT NUMBER: 0024684.00  
CONTACT: JEFF R. WESTENDORF

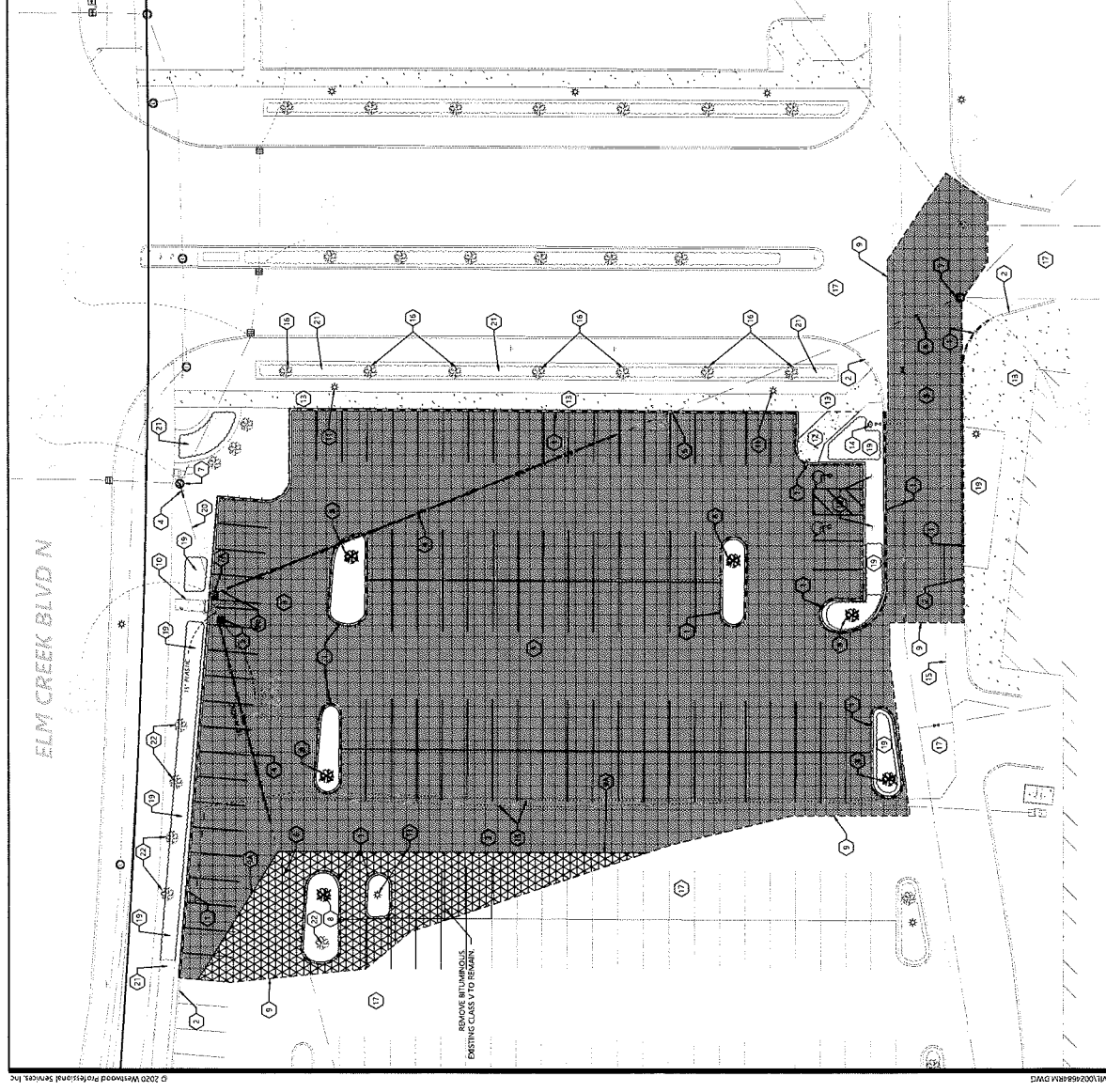
INITIAL SUBMITTAL DATE: 02/22/2021  
THIS PLAN SET CONTAINS 11 SHEETS.

PROJECT NUMBER: 0024684.00



Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND REMOVALS PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C3.1	EROSION CONTROL PLAN
C4.0	UTILITY PLAN
C5.0	EROSION CONTROL DETAILS
C5.1	UTILITY DETAILS
C5.2	SITE DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS

NO.	DATE	REVISION	SHEETS
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ELM CREEK BLVD N

REMOVAL LEGEND

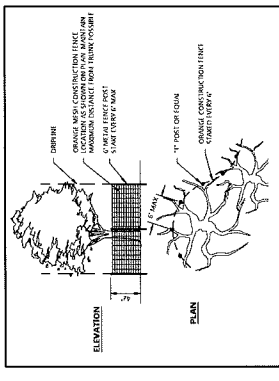
EXISTING	PROPOSED
EXISTING	REMOVALS
PROPERTY LINE	CURB & GUTTER
EXISTING STORM SEWER	SANITARY SEWER
EXISTING WATER MAIN	WATER MAIN
EXISTING HYDRAULIC	HYDRAULIC
EXISTING STORM SEWER	STORM SEWER
EXISTING GAS	GAS
EXISTING OVERHEAD ELECTRIC	OVERHEAD ELECTRIC
EXISTING UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
EXISTING OVERHEAD TELEPHONE	OVERHEAD TELEPHONE
EXISTING UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
EXISTING CABLE TELEVISION	CABLE TELEVISION
EXISTING RETAINING WALL	RETAINING WALL
EXISTING CONCRETE	CONCRETE
EXISTING BITUMINOUS PAVEMENT	BITUMINOUS PAVEMENT
EXISTING ASPHALT PAVEMENT	ASPHALT PAVEMENT
EXISTING BITUMINOUS PAVEMENT	BITUMINOUS PAVEMENT
EXISTING TREE	TREE
EXISTING LIGHT POLE	LIGHT POLE
EXISTING UTILITY	UTILITY
EXISTING CONSTRUCTION BARRICADE	CONSTRUCTION BARRICADE
EXISTING SOIL BORING LOCATION	SOIL BORING LOCATION

REMOVAL KEYNOTES

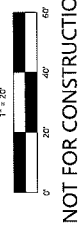
- REMOVE CONCRETE CURB AND GUTTER
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- REMOVE STORM SEWER
- REMOVE WATER MAIN
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- REMOVE STORM SEWER TO REMAIN
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- REMOVE OVERHEAD ELECTRIC
- REMOVE UNDERGROUND ELECTRIC
- REMOVE OVERHEAD TELEPHONE
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- REMOVE CABLE TELEVISION
- REMOVE RETAINING WALL
- REMOVE CONCRETE
- REMOVE BITUMINOUS PAVEMENT
- REMOVE ASPHALT PAVEMENT
- REMOVE BITUMINOUS PAVEMENT
- REMOVE TREE
- REMOVE LIGHT POLE
- REMOVE UTILITY
- REMOVE CONSTRUCTION BARRICADE
- REMOVE SOIL BORING LOCATION

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPROPRIATE TO REMAIN. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES. EXISTING UTILITIES, FENCES, SIGNS, IRRIGATION, HEADS, ETC. THAT MAY BE DAMAGED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY PROTECTION MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO INSTALL SECURITY FENCING AROUND THE SITE AND LEAVE IN PLACE UNTIL ROADWAY IS COMPLETE. THE FENCING WILL BE MOVED OFF OF THE ROADWAY CONTRACTOR TO PROVIDE ACCESS TO THE SITE. THE FENCING SHALL BE MOVED OFF OF THE ROADWAY CONTRACTOR TO PROVIDE ACCESS TO THE SITE AND MAINTAINING CONSTRUCTION IS COMPLETE.



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NOT FOR CONSTRUCTION

SHEET NUMBER  
**C1.0**

EXISTING  
CONDITIONS  
AND  
REMOVALS  
PLAN

**Westwood**  
Professional Engineering Services, Inc.  
10000 13th Avenue NW  
Suite 100  
Edmonton, Alberta T6E 4E1  
Canada  
Phone: (780) 443-8888  
Fax: (780) 443-8889  
Email: info@westwoodeng.com  
www.westwoodeng.com

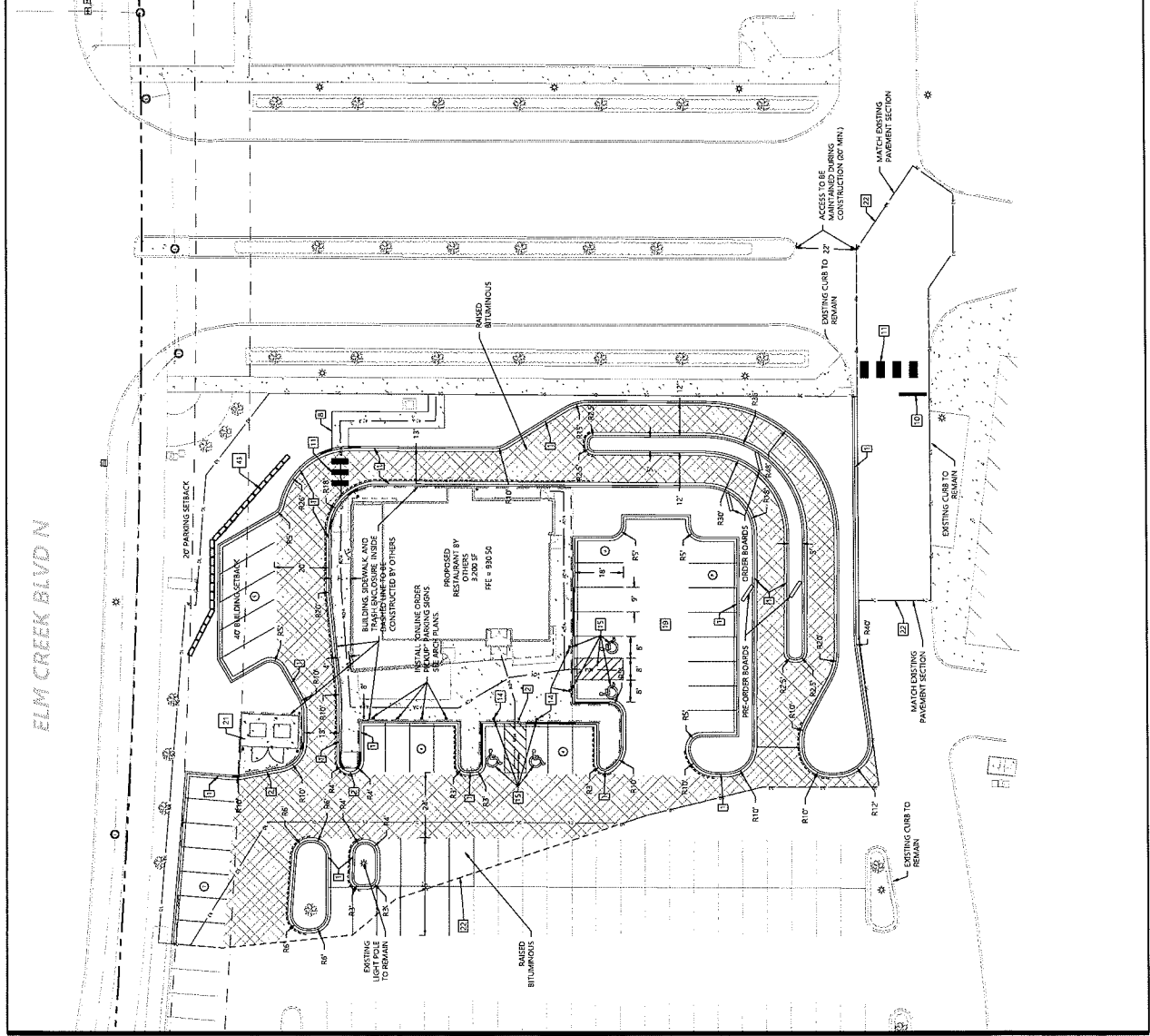
**ARBOR LAKES  
NW OUTLOT**  
MAPLE GROVE, MN

DATE: 02/22/2021 (REVISED) 18919  
DRAWN: TUC  
CHECKED: TUC  
APPROVED: TUC  
PROJECT: ARBOR LAKES NW OUTLOT  
PROJECT NUMBER: 0024684.00

PREPARED FOR:  
**CBRE UCR**  
12450 ELM CREEK BOULEVARD NORTH  
MAPLE GROVE, MN 55869

DATE: 02/22/2021  
SHEET: 1  
SHEET TOTAL: 1  
DRAWN: TUC  
CHECKED: TUC  
APPROVED: TUC  
PROJECT: ARBOR LAKES NW OUTLOT  
PROJECT NUMBER: 0024684.00

Call 48 hours before signing  
811 or call 811.com  
Common Grounds Alerts



**SITE LEGEND**

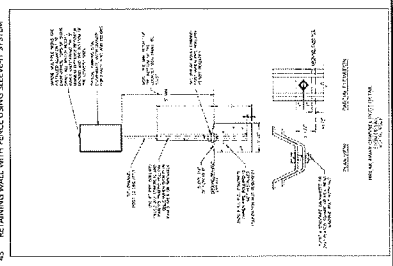
EXISTING	PROPOSED
PROPERTY LINE	—
DISTURBANCE LIMIT	—
ADA PATH	—
SETBACK LINE	—
PAVEMENT LINE	—
CURB AND GUTTER	—
TRANSVERSE CURB	—
RETAINING WALL	—
CONCRETE SIDEWALK	—
HEAVY DUTY BITUMINOUS PAVEMENT	—
NORMAL DUTY BITUMINOUS PAVEMENT	—
NUMBER OF PARKING STALLS	—
TRANSFORMER	—
TRAFFIC LIGHTING	—
TRAFFIC SIGN	—
POWER POLE	—
ROLL-UP POST	—

**GENERAL SITE NOTES**

1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNEAPOLIS, MN, 2019
2. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITIES PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS
4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMP, AND TRUCK DOCKS
6. ALL CURB RADIUS ARE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED
7. ALL CURB AND GUTTERS SHALL BE 18" UNLESS OTHERWISE NOTED
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS
9. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER
10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES
11. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTO METRICS
12. CONTRACTOR TO INSTALL FINAL LIFT OF ASPHALT AND CURB AROUND BUILDING ONCE BUILDING IS COMPLETE

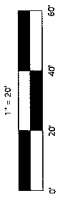
**SITE DETAILS (SI-0XX)**

1. 18" CURB AND GUTTER
2. FLUSH CURB AND GUTTER AND UP - (SEE DETAIL)
3. PRIVATE ROBERTSON CURB RAMP
4. PAINTED STOP BAR
5. CROSS WALK STRIPING
6. HANDICAP ACCESSIBLE (RELOCATED) AND STRIPING
7. PAVEMENT SECTIONS
8. HEAVY DUTY CONCRETE SECTION
9. RETAINING WALL WITH FENCING USING SLEW-FIT SYSTEM



**SITE DEVELOPMENT SUMMARY**

- ZONING: PUD - PLANNED UNIT DEVELOPMENT
- PARCEL DESCRIPTION: LOT 1, BLOCK 1, THE SHORES AT ARBOR LAKES, HENRIEN COUNTY, MINNESOTA
- PROPERTY AREA: 1,555.400 SF (35.71 AC)
- DISTURBED AREA: 42,966 SF
- NET DECREASE IN IMPERVIOUS AREA: 6,433 SF
- BUILDING GROSS SIZE: 3,200 SF
- BUILDING SETBACK PER CODE: 40'-FRONT
- PARKING SETBACK: 20'-FRONT AND ROW
- PARKING SPACE/ROW: 9' WIDE X 18' LONG, 24' ASILE
- PARKING LOSSES: 75 STALLS
- PROPOSED ADA PARKING: 4 STALLS



NOT FOR CONSTRUCTION

Call 48 Hours before Logging  
811 or call 811.com  
Common Ground Alliance

DESIGNED	02/22/2021
CHECKED	
APPROVED	
DATE	02/22/2021
LOCATION	12459 ELM CREEK BLVD N, MINNEAPOLIS, MN 55439
PROJECT	12459 ELM CREEK BLVD N, MINNEAPOLIS, MN 55439

**CRR UCR**  
PREPARED FOR:  
12459 ELM CREEK BLVD N, MINNEAPOLIS, MN 55439

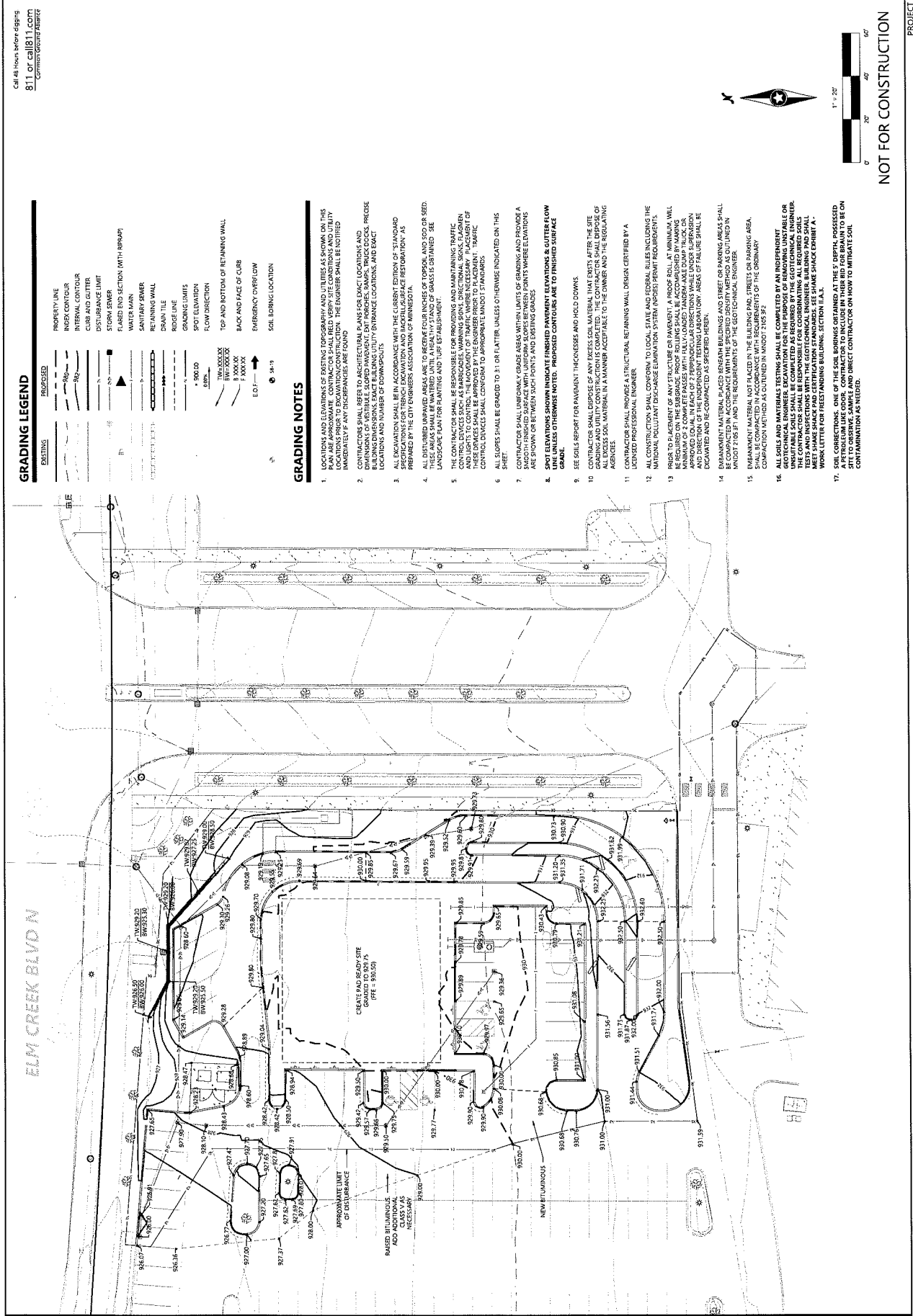
**ARBOR LAKES NW OUTLOT**  
DATE: 02/22/2021  
DRAWN BY: T. ADAMS  
18919

**ARBOR LAKES NW OUTLOT**  
DATE: 02/22/2021  
DRAWN BY: T. ADAMS  
18919

**Westwood**  
Professional Services, Inc.  
12459 ELM CREEK BLVD N, MINNEAPOLIS, MN 55439  
TEL: 612.480.0000  
FAX: 612.480.0001  
WWW.WESTWOODPROFESSIONALSERVICES.COM

**SITE PLAN**

SHEET NUMBER  
**C2.0**  
DATE: 02/22/2021  
PROJECT NUMBER: 0024684.00



Call us today, before 5:00pm  
811 or call 811.com  
Common Ground Request

ELM CREEK BLVD N

ARROW LAKES NW OUTLOT

C3.0

NOT FOR CONSTRUCTION

DATE 02/22/2021  
PROJECT NUMBER: 0024684-00

GRADING PLAN

Westwood Professional Services, Inc.  
13259 Elm Creek Boulevard North  
Maple Grove, MN 55869  
Phone: 763.429.8822  
Fax: 763.429.8823  
Email: info@westwoodmn.com  
www.westwoodmn.com

Maple Grove, MN  
02/22/2021  
18919

PREPARED FOR:  
CRR UCR  
13259 ELM CREEK BOULEVARD NORTH  
MAPLE GROVE, MN 55869

REVISIONS  
DATE 02/22/2021  
BY  
DESCRIPTION

PROPERTY LINE  
INDEX CONTOUR  
INTERNAL CONTOUR  
CURB AND GUTTER  
DISTURBANCE LIMIT  
STORM SEWER  
GUTTER AND SEWER  
SANITARY SEWER  
RETAINING WALL  
PAVING  
ROAD LINE  
GRADING LIMITS  
SPOT ELEVATION  
FLOW DIRECTION  
TOP AND BOTTOM OF RETAINING WALL  
BACK AND FACE OF CURB  
EMERGENCY OVERFLOW  
SOIL BORING LOCATION

GRADING LEGEND

EXISTING  
PROPOSED

GRADING NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

2. CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VERTICALLY SLOPED PAVEMENT, DIRT ROADS, DAMPS, TRUCK CATCHES, PRECISE LOCATIONS AND NUMBER OF DOWNSPOUTS.

3. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL" PUBLISHED BY THE MINNESOTA ASSOCIATION OF PROFESSIONAL ENGINEERS.

4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOO OR SEED. SMOOTHED SURFACE WITH TOPSOIL OR SEED. EXPOSED SOIL SHALL BE COVERED WITH TOPSOIL OR SEED. GRASS IS TO BE ESTABLISHED.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLASHING LIGHTS TO COMPLY WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION (DNR) STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MANDATORY STANDARDS.

6. ALL SLOPES SHALL BE GRADED TO 3:1 ON FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.

7. CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTHED SURFACE WITH TOPSOIL OR SEED. EXPOSED SOIL SHALL BE COVERED WITH TOPSOIL OR SEED. GRASS IS TO BE ESTABLISHED.

8. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE WITH A FINISHED FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.

9. SEE SOIL REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.

10. CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXITS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.

11. CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.

12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.

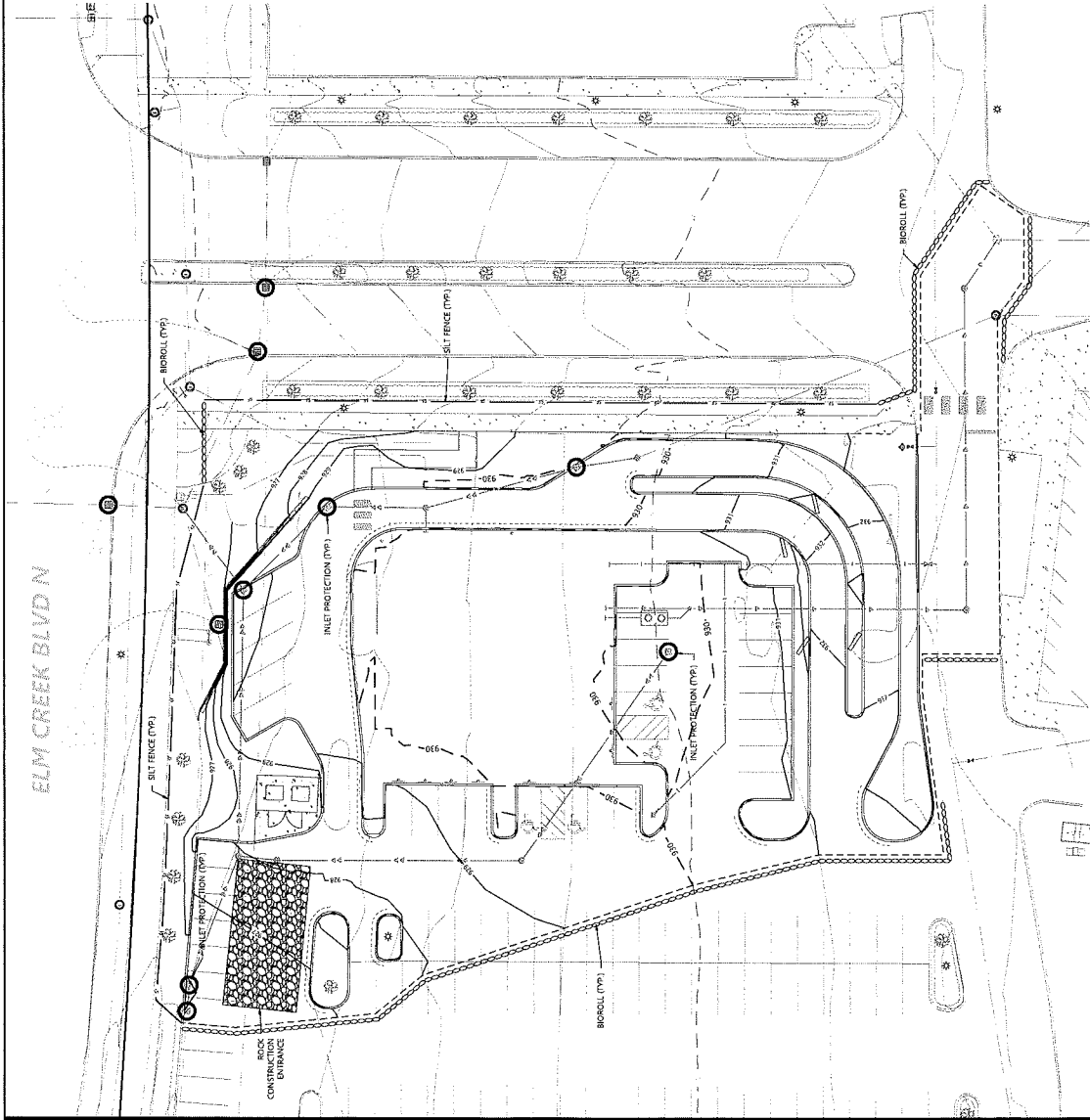
13. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY RAMPING APPROVED LOCAL, IN EACH OF 7 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE QUANTIFIED AND REWORKED TO MEET DESIGN CRITERIA. ALL REWORKED AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2108.3F, AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.

14. EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD (MNDOT 2108.3F).

15. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE WITH A FINISHED FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.

16. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE WITH A FINISHED FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.

17. CONTRACTOR SHALL PROVIDE A FINISHED PAVEMENT SURFACE WITH A FINISHED FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.



### EROSION CONTROL LEGEND

PROPERTY LINE	PROPOSED	ROCK CONSTRUCTION
INDEX CONTOUR		SOIL BORING LOG
INTERNAL CONTIGUOUS		INFILTRATION
CUBS AND GUTTER		
SILT FENCE		
STORM SEWER		
WATER MAIN		
SANITARY SEWER		
RETAINING WALL		
GRADING LIMITS		
BOROI		

## GENERAL EROSION CONTROL NOTES


- [illegible]

Call 48 Hours before digging:  
**811 or call811.com**  
Common Ground Alliance

NOT FOR CONSTRUCTION

0' 20' 40' 60'

1" = 20'



NOT FOR CONSTRUCTION

PROJECT NUMBER: 0024684.00

### C3.1

**SHEET NUMBER:**

EROSION  
CONTROL  
PLAN

ARBOR LAKES NW OUTLOT

**Westwood**

**ARBOR LAKES  
NW OUTLOT**  
MAPLE GROVE, MN

DAVID I. BADE  
DATE: 02/22/2021  
LICENSE NO. 18919

REPAIRED FOR:  
**CBRE UCR**  
12459 ELM CREEK BOULEVARD NORTH  
MAPLE GROVE, MN 55369

REVISIONS	
DESIGNED	
CHECKED	
DRAWN	
HORIZONTAL SCALE	
VERTICAL SCALE	



Call 48 hours before digging  
811 or call 811.com  
Common Ground Reference

DESIGNED	02/22/2021
CHECKED	
APPROVED	
REVISIONS	
DATE	02/22/2021
BY	
FOR	
PROJECT	
LOCATION	
DESCRIPTION	
CLIENT	
PROJECT NO.	

12459 ELM CREEK BOULEVARD NORTH  
MAPLE GROVE, MN 55869  
CBBE UCR  
PREPARED FOR:

DATE: 02/22/2021  
PROJECT NO.: 18919  
PROJECT NAME: ARBOR LAKES NW OUTLOT  
PROJECT LOCATION: 12459 ELM CREEK BOULEVARD NORTH, MAPLE GROVE, MN 55869  
PROJECT DESCRIPTION: EROSION CONTROL MEASURES FOR THE NW OUTLOT OF ARBOR LAKES NW OUTLOT, MAPLE GROVE, MN 55869.

ARBOR LAKES  
NW OUTLOT  
DATE: 02/22/2021  
PROJECT NO.: 18919  
PROJECT NAME: ARBOR LAKES NW OUTLOT  
PROJECT LOCATION: 12459 ELM CREEK BOULEVARD NORTH, MAPLE GROVE, MN 55869  
PROJECT DESCRIPTION: EROSION CONTROL MEASURES FOR THE NW OUTLOT OF ARBOR LAKES NW OUTLOT, MAPLE GROVE, MN 55869.

Westwood Professional Services, Inc.  
12459 Elm Creek Boulevard North, Suite 400  
Maple Grove, MN 55869  
Phone: (763) 429-8500  
Fax: (763) 429-8501  
Email: info@westwoodpro.com  
www.westwoodpro.com

EROSION  
CONTROL  
DETAILS

SHEET NUMBER  
C5.0  
DATE 02/22/2021  
PROJECT NUMBER: 0024684.00

**STANDARD DETAIL**  
FENCE WITH NATIVE PLANTS

5' STEEL SHEET PILE  
NATIVE PLANTS (e.g., WILLOW, BIRCH, ASPEN)  
FENCE WITH NATIVE PLANTS  
5' STEEL SHEET PILE  
NATIVE PLANTS (e.g., WILLOW, BIRCH, ASPEN)

**DETAILS**

1. FENCE SHALL BE INSTALLED AFTER EACH EXISTING TREE AND BEFORE STEERING
2. REMOVED TREES SHALL BE REPLANTED WITH NATIVE PLANTS OF SIMILAR SIZE AND SPECIES
3. ALL TREES SHALL BE PLANTED ON SLOPE CORNERS TO MAINTAIN FLOODING FREQUENCY
4. FENCE SHALL BE PLANTED ON SLOPE CORNERS TO MAINTAIN FLOODING FREQUENCY
5. FENCE SHALL BE PLANTED ON SLOPE CORNERS TO MAINTAIN FLOODING FREQUENCY

**CONSTRUCTION ENTRANCE**

12' WIDE OPENING  
12' HIGH WALL  
CONSTRUCTION ENTRANCE

**CONCRETE WASH-OUT AREA**

12' WIDE OPENING  
12' HIGH WALL  
CONCRETE WASH-OUT AREA

**STORM DRAIN**  
FILLER FACT INSERT

STORM DRAIN  
FILLER FACT INSERT

**NOTES**

1. FIBER ROLLS SHALL BE INSTALLED TO MAINTAIN THE EXISTING FLOODING FREQUENCY
2. FIBER ROLLS SHALL BE INSTALLED TO MAINTAIN THE EXISTING FLOODING FREQUENCY
3. FIBER ROLLS SHALL BE INSTALLED TO MAINTAIN THE EXISTING FLOODING FREQUENCY
4. FIBER ROLLS SHALL BE INSTALLED TO MAINTAIN THE EXISTING FLOODING FREQUENCY
5. FIBER ROLLS SHALL BE INSTALLED TO MAINTAIN THE EXISTING FLOODING FREQUENCY

**CONSTRUCTION ENTRANCE**

12' WIDE OPENING  
12' HIGH WALL  
CONSTRUCTION ENTRANCE

**CONCRETE WASH-OUT AREA**

12' WIDE OPENING  
12' HIGH WALL  
CONCRETE WASH-OUT AREA

**STORM DRAIN**  
FILLER FACT INSERT

STORM DRAIN  
FILLER FACT INSERT







## PLANT SCHEDULE

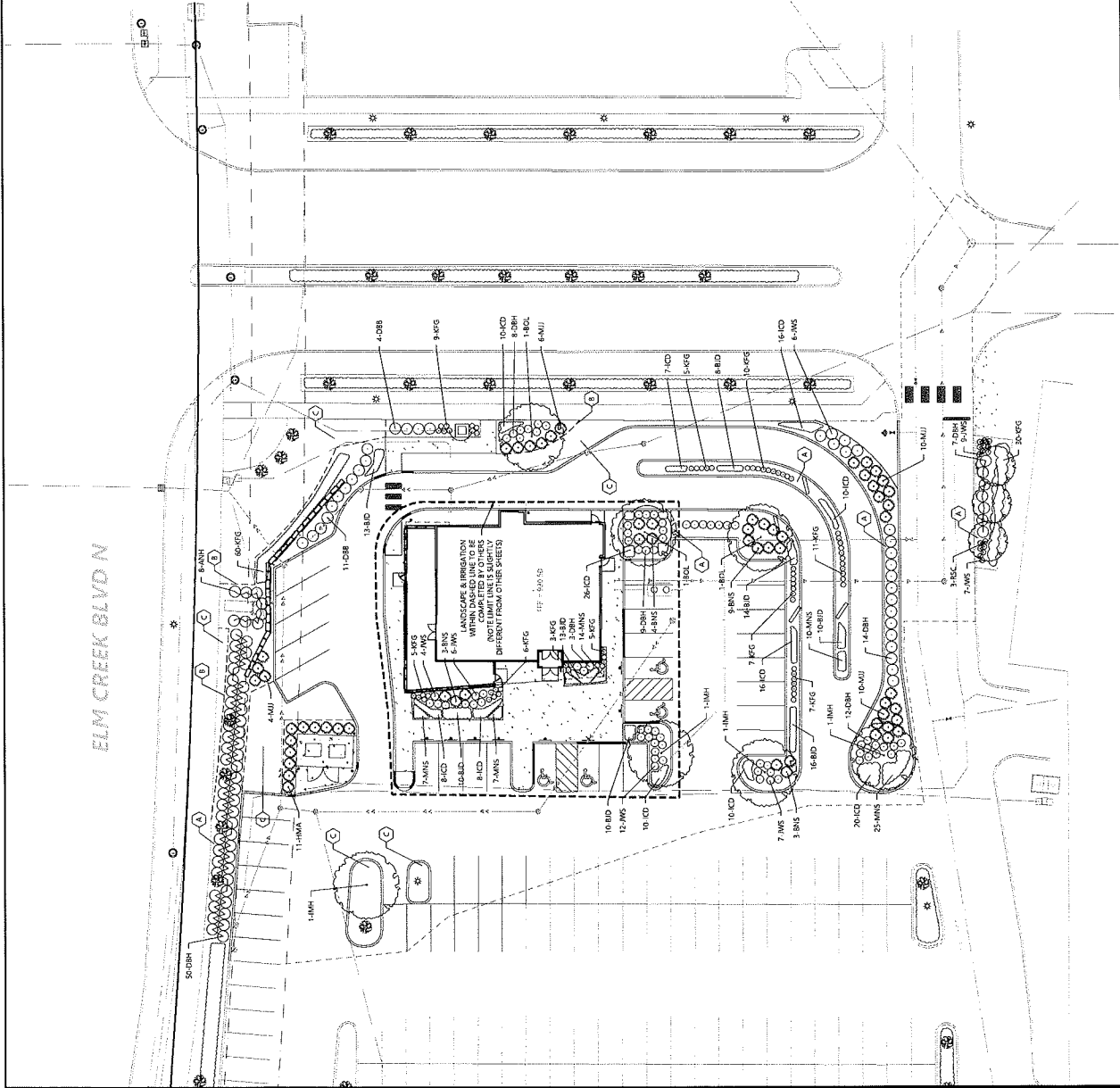
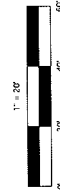
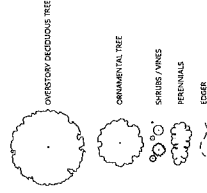
CODE	QTY	COMMON	BOTANICAL NAME	SIZE	ROOT	SPACING
PRESTON/TREE 7						
BCL 3	3	BULLHORN JUNCUS	TULIA AMERICANA BULLHORN	25' CL	80#	AS SHOWN
BH 4	4	EMERALD HONEY LOCUST	GLETTIA INCAUCANTICA VAR. NERANS PAROLE	21' CL	80#	AS SHOWN
ONAMARU/TREE 3						
ESC 3	3	RED SPINER PINO	MAULUS RED SPINER	15' CL	80#	AS SHOWN
BLOODROOT SHrub 177						
JMS 11	11	JAPANESE WHITE SHRUB	SPHORA ALBIFLORA	4' CONT	3" X 6" CL	AS SHOWN
ANH 8	8	ANEMONE HILL	ANEMONE HILL	4' CONT	3" X 6" CL	AS SHOWN
ANH 8	8	ANEMONE HYDRANGEA	ANEMONE HYDRANGEA	4' CONT	4" X 6" CL	AS SHOWN
DBP 15	15	WAXY WINGED LOQUAT	LYNCHIA LATAUS COMPACTA	4' CONT	4" X 6" CL	AS SHOWN
CONFIDENTER SHrub 68						
BMS 19	19	BIRD'S NEST SPINCE	PICTA BIRD'S NEST SPINCE	4' CONT	5" X 6" CL	AS SHOWN
BMS 19	19	BIRD'S NEST SPINCE	PICTA BIRD'S NEST SPINCE	4' CONT	5" X 6" CL	AS SHOWN
MU 10	10	MULE EYE SHRUB	AMPELOPSIS MONIER	4' CONT	5" X 6" CL	AS SHOWN
PERNNIALS 150						
ICO 155	155	ICE CARNAL DWAYL	HEMEROCALLIS TEE CARNAVAL	4' CONT	18" CL	AS SHOWN
BID 90	90	BURN DWAYL	HEMEROCALLIS TEE CARNAVAL	4' CONT	18" CL	AS SHOWN
NSC 18	18	NIGHT SHRUB	ANEMONE HILL	4' CONT	18" CL	AS SHOWN
NSC 18	18	NSC 5008 IN 5044H RED PARAS	SALICAMENNES 5008 IN 5044H VAR. GORSTY	4' CONT	18" CL	AS SHOWN

## LANDSCAPE LEGEND

ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER S.P. = SPREAD  
QTY = QUANTITY CONT. = CONTAINER NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY

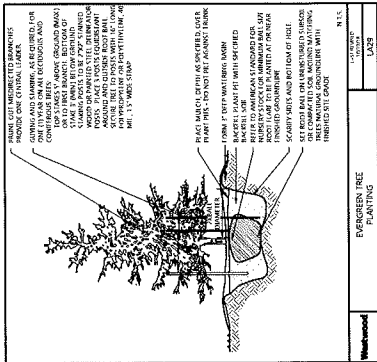
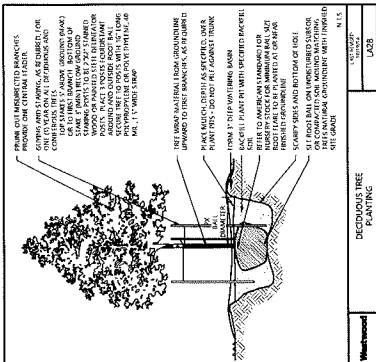
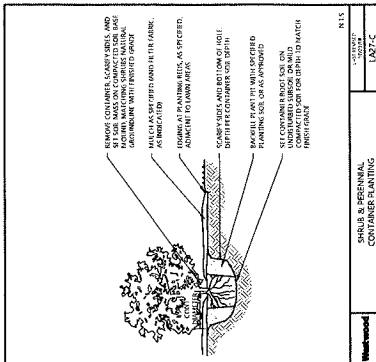
## LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP.)  
B EDGER (TYP.)  
C EOD (TYP.)



## PLANTING NOTES

- [illegible]



## LANDSCAPE DETAILS

## 1.1

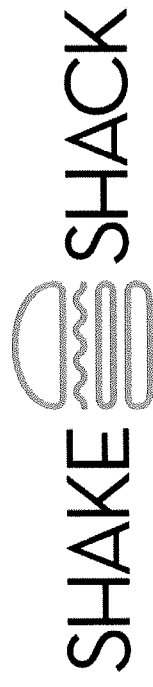
DATE 02/22/2021  
PROJECT NUMBER: 0024684.00

1. I HEREBY CERTIFY THAT THE ABOVE PROPERTY DESCRIBED HEREIN  
DOES NOT LIE WITHIN THE SUBURBAN AREA OF THAT TOWN  
OR VILLAGE OR CITY OR TOWNSHIP OR COUNTY OR STATE OF MINNESOTA  
AS DEFINED IN MINNESOTA STATUTES UNDER THE LAWS  
OF THE STATE OF MINNESOTA.  
*[Signature]*  
JENNIFER WESTBROOK  
DATE 02/22/2021 LICENSE NO. 18919

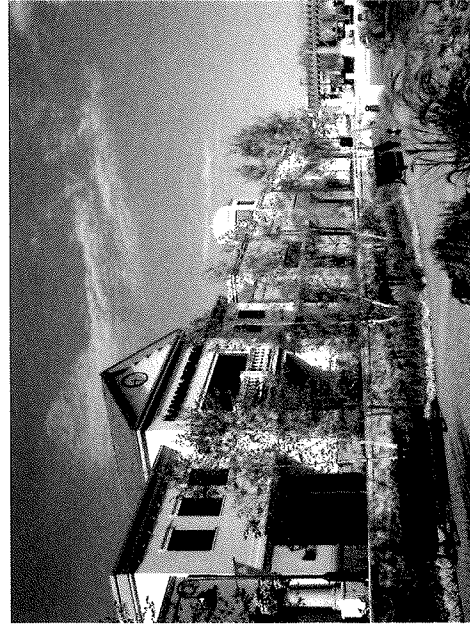
**Westwood**  
12275 Westwood Drive, Suite 2000  
Westwood, NJ 07675  
(201) 937-5150  
westwood.com

PREPARED FOR:  
**CBRE UCR**  
12459 ELM CREEK BOULEVARD NORTH  
MAPLE GROVE, MN 55369

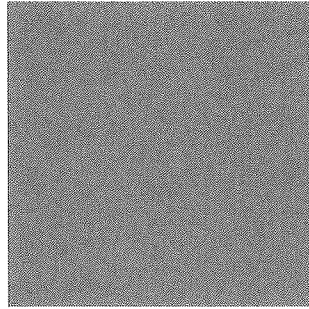
INITIAL ISSUE	
REVISIONS	
02/22/2021	
DESCRIPTION	
CHECKED	
DRAWN	
HORIZONTAL SCALE	
VERTICAL SCALE	



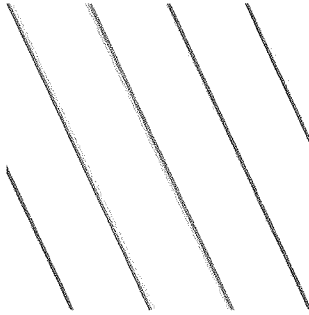
SHOPPES AT ARBOR LAKES  
MAPLE GROVE, MN, USA  
FEBRUARY 19TH, 2021



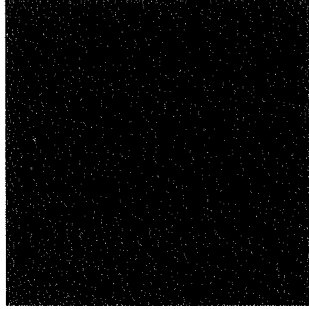
LOCATION  
SHOPPES AT ARBOR LAKES  
ELM CREEK BLVD. N  
MAPLE GROVE, MN 55369



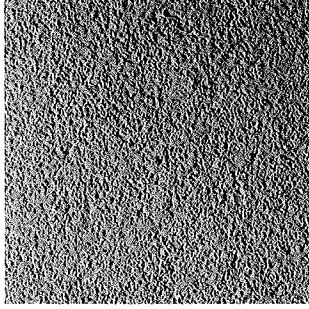
ATLAS WHITE #12



WHITE CEMENT BOARD SIDING/JAMES HARDIE/HARDIE PLANK LAP SIDING/ARTIC WHITE

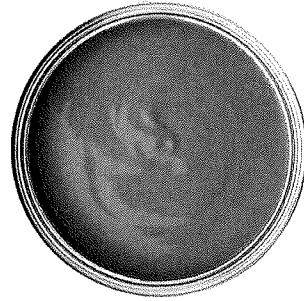


EIPS - SHERWIN WILLIAMS #SW 7069 IRON ORE

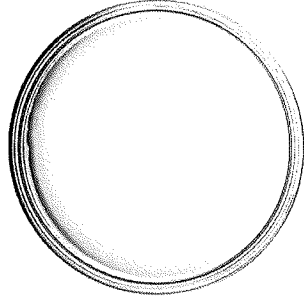


EIPS - DUNN EDWARDS #DE566 WREATH

SIDEFRONT  
AWNEER 1600 SERIES /PERMACON/ POWDER COATING /  
BONE WHITE



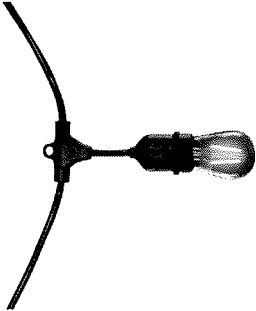
PAINI  
DUNN EDWARDS #DE566 WREATH



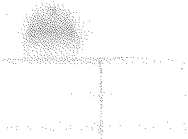
STEEL C-CHANNEL & STEEL COLUMNS PAINT  
SHERWIN WILLIAMS #SW/551 GREEK VILLA



BAND OF LETTERS PAINT  
SHERWIN WILLIAMS #SW 7069 IRON ORE

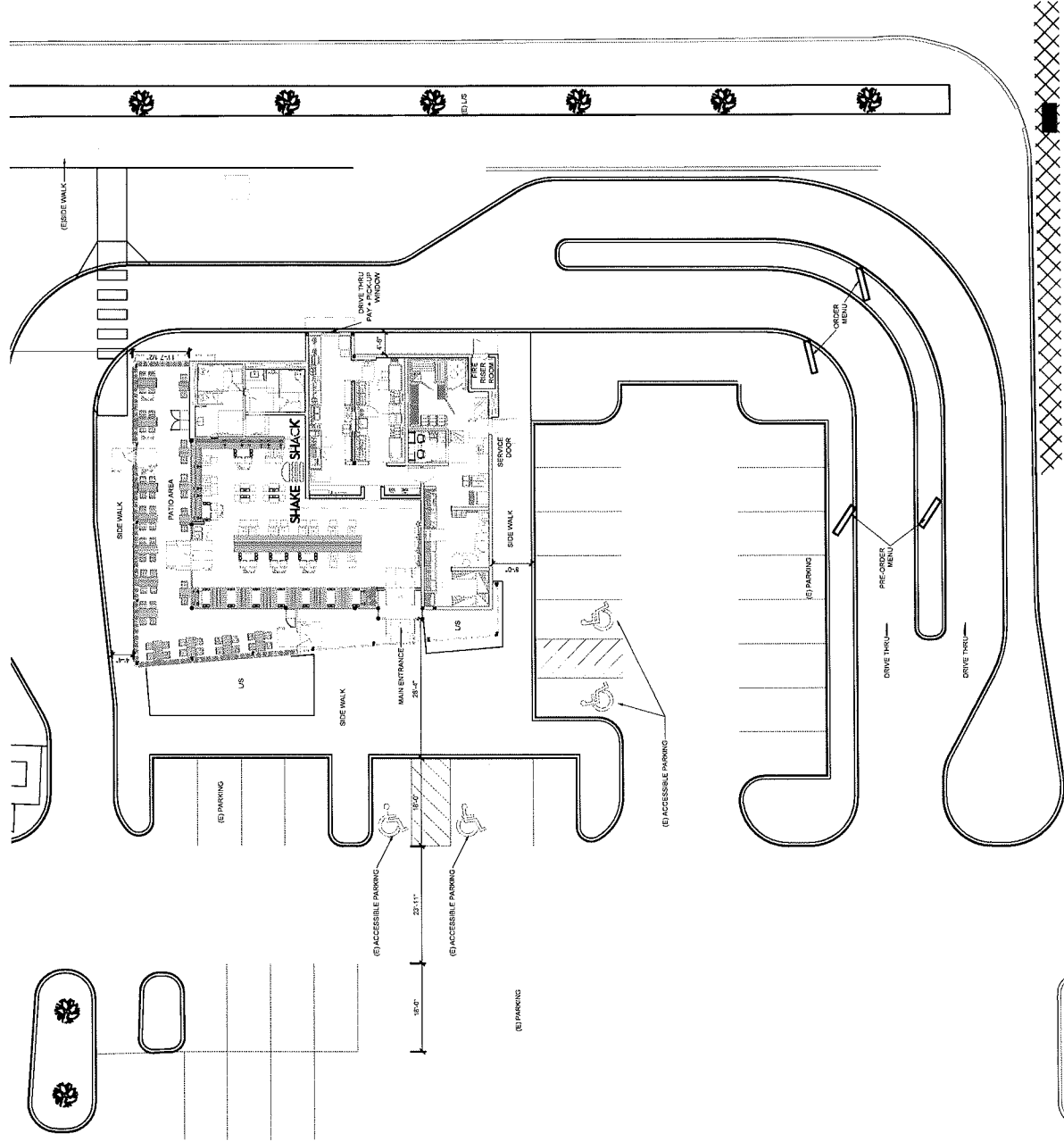


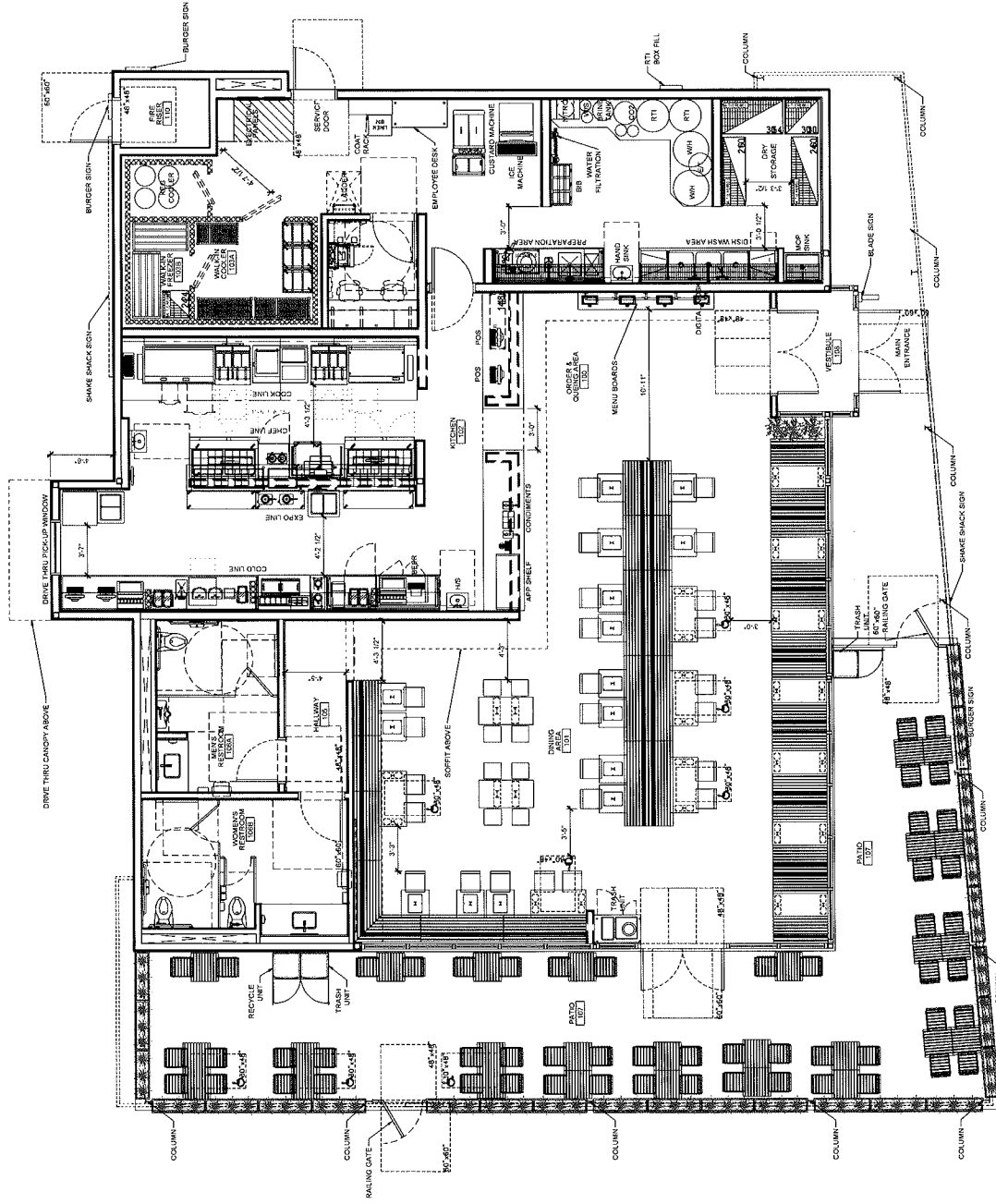
STRING LIGHTS  
BULBrite / STRINGBrite-E26 BLACK-LED54-K1



CANOPY LIGHTS  
Lumiere / Westwood 904-10LED-27-41-32V-W1







CURRENT CODES	
BUILDING	2009 MINNESOTA BUILDING CODE - ADOPTS 2018 INTERNATIONAL BUILDING CODE WITH AMENDMENTS
MECHANICAL	2009 MINNESOTA MECHANICAL AND FUEL GAS CODE
PLUMBING	2015 MINNESOTA PLUMBING CODE - ADOPTS THE 2015 INTERNATIONAL PLUMBING CODE
FIRE	2009 MINNESOTA STATE FIRE CODE - ADOPTS 2018 INTERNATIONAL FIRE CODE WITH AMENDMENTS
ENERGY	2009 MINNESOTA ENERGY CODE - ADOPTS 2016 IECC WITH AMENDMENTS
ACCESSIBILITY	2009 MINNESOTA ACCESSIBILITY CODE

PROJECT DATA	
ZONING CLASSIFICATION	(P/U) PLANNED UNIT DEVELOPMENT
BUILDING AREA	3800 SF
ACTUAL BUILDING HEIGHT	ALLOWED BUILDING HEIGHT
24'-0"	A-2
OCCUPANCY GROUP	V/B FULLY SPRINKLERED
CONSTRUCTION TYPE	12501 ELM CREEK BOULEVARD N
ADDRESS	MAPLE GROVE VIL 55359

OCCUPANT LOAD CALCULATION				
PER TABLE 1002.2 OF 2000 MINNESOTA BUILDING CODE, ADAPTED 2018 IBC TABLE 1002.2.1.1 WITH ADDITIONAL COMMENTS				
OCCUPANCY TYPE	AREA	LOAD FACTOR	OCCUPANTS	
			CALC	DESIGN
ORDER QUEUE	221	5	44.20	45
DINING	922	15	61.12	62
PAINTING	862	15	58.90	57
KITCHEN BOH	550	200	4.75	5
RESTROOMS	318	0	0.00	0
			DESIGN OCCUPANT LOAD	168

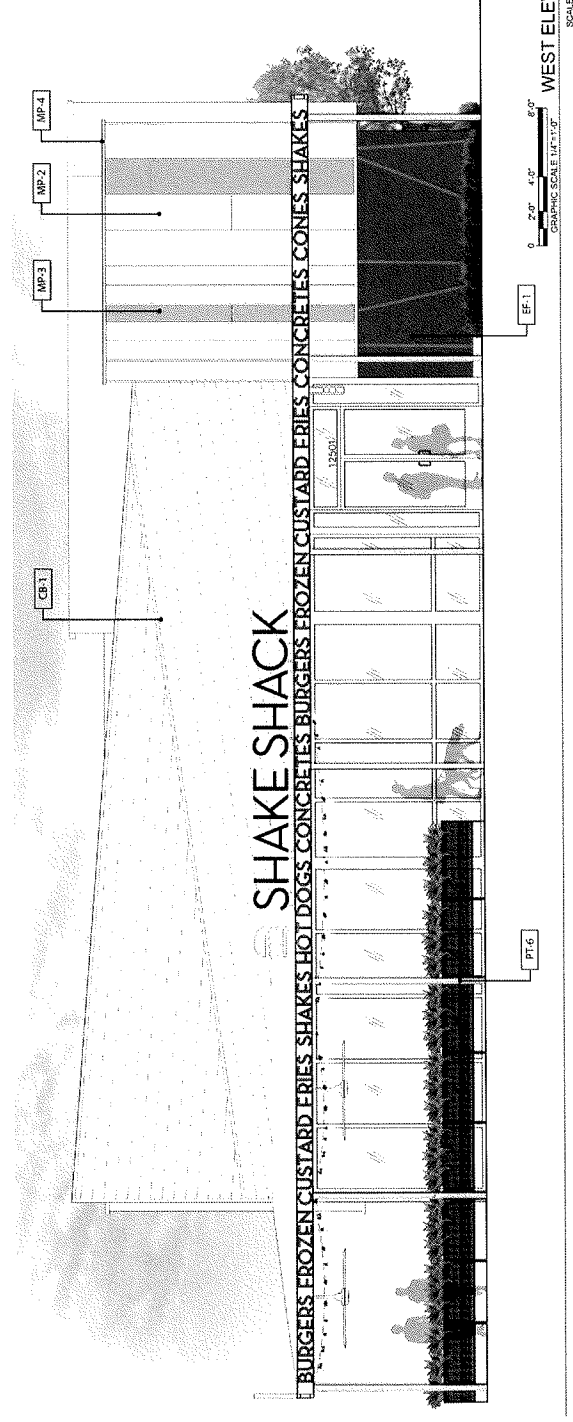
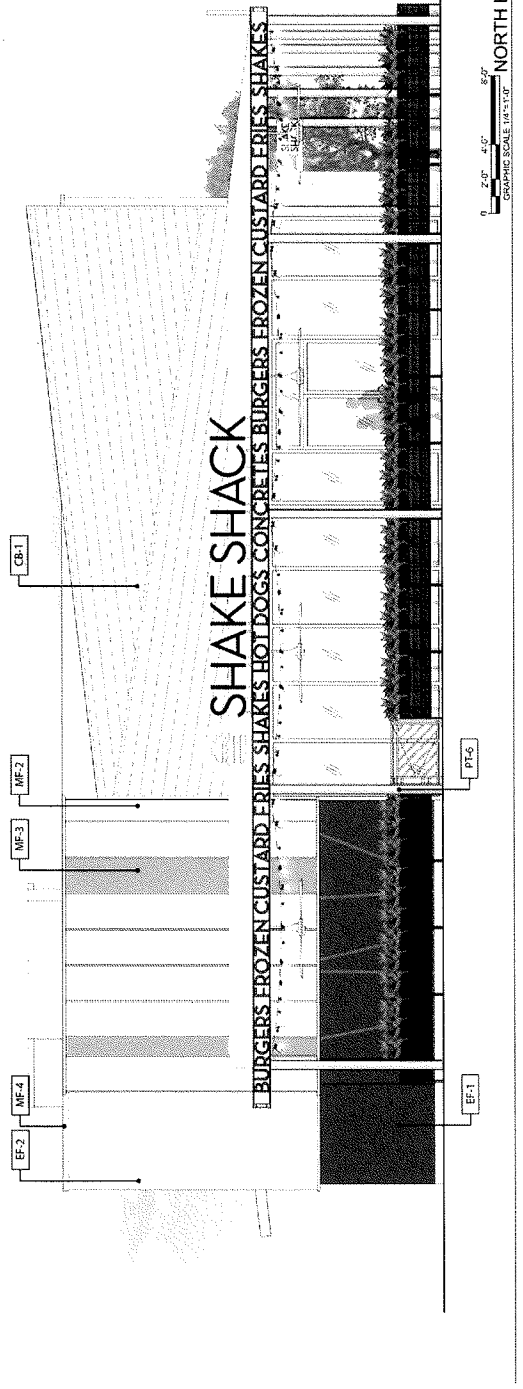
PLUMBING FIXTURE TABULATION			
2020 MINNESOTA BUILDING CODE - PER TABLE 2802.1 AND 2016 MINNESOTA PLUMBING CODE			
A2 ASSEMBLY RESTAURANTS			
OCCUPANT LOAD			
169	OCCUPANTS	1 2	85 MALE 85 FEMALE

MINIMUM PLUMBING FACILITIES					
2015 MINNESOTA OCCUPANCY PLUMBING CODE PER TABLE 902.1					
	REQUIRED		MALE		FEMALE
	A/ASSEMBLY		1 per 75	1 per 75	1
WATER CLOSETS			1 per 75	1	2
URINALS			NA	NA	NA
LAVATORIES			1 per 200	1 per 200	2

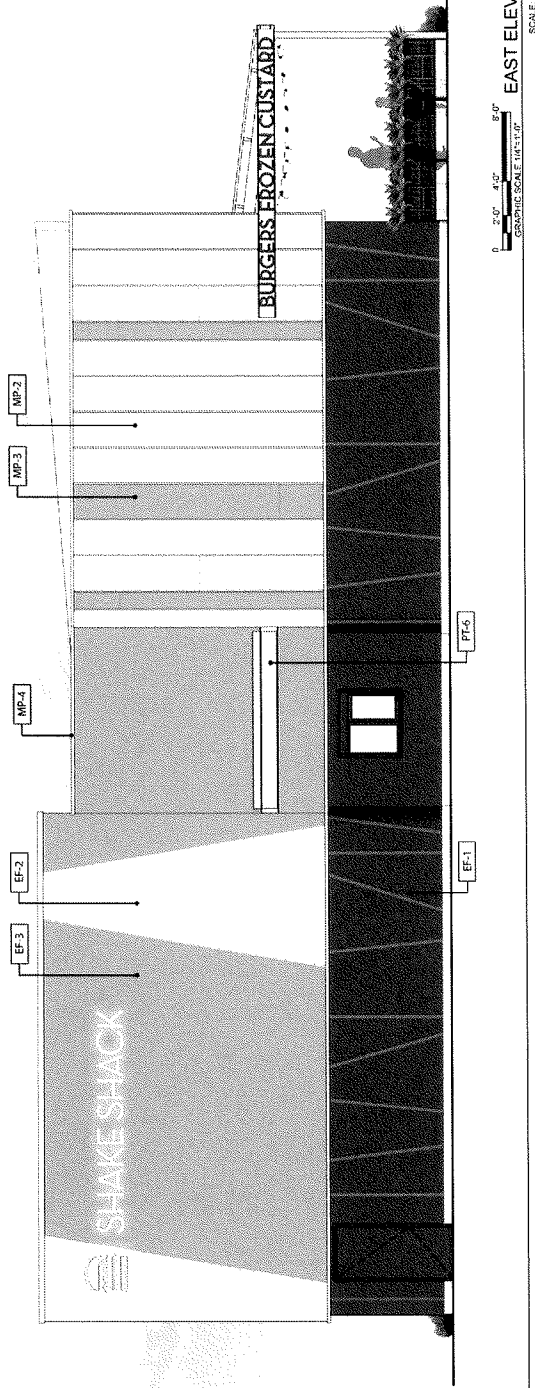
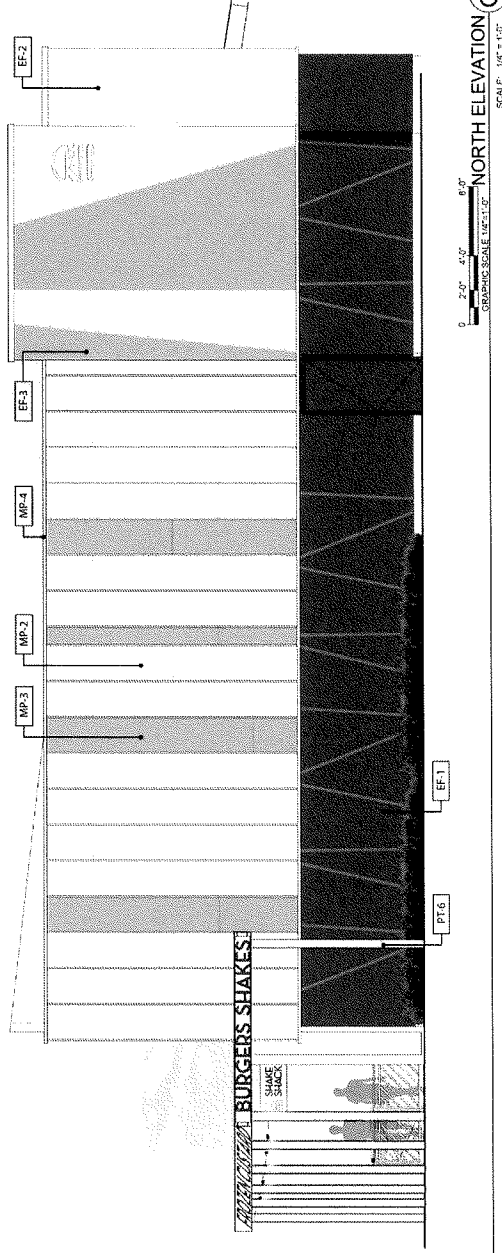
\*SECTION 902.1 URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 87 PERCENT OF THE REQUIRED WATER CLOSETS (NOTE 902.1)

SEATS PER AREA		
SPACE	DESIGN	SEATING ACCESSIBLE REQUIRED 5%
DINING AREA	66 SEAT'S	5 SEAT'S
PATIO AREA	54 SEAT'S	3 SEAT'S
TOTAL SEAT'S	140 SEAT'S	8 SEAT'S

TABLES PER AREA		
SPACE	DESIGN	ADA TABLES
DINING AREA	26 TABLES	5 TABLES
PATIO AREA	21 TABLES	3 TABLES
TOTAL SEATS	47 TABLES	8 TABLES



MATERIALS	
	MF-1 METAL PANEL ATLAS ASCOT WHITE #10
	MF-2 METAL PANEL ATLAS ASCOT WHITE #10
	MF-3 METAL PANEL ATLAS ASCOT WHITE #10
	MF-4 METAL PANEL ATLAS ASCOT WHITE #10
	PT-1 STEEL COLUMN PAINT SHERWIN WILLIAMS #SW 7551 GREEK VILLA
	PT-2 STEEL "C" CHANNEL PAINT SHERWIN WILLIAMS #SW 7551 GREEK VILLA
	PT-3 STEEL RAILING PAINT SHERWIN WILLIAMS #SW 7551 GREEK VILLA
	PT-4 BAND OF LETTERS PAINT SHERWIN WILLIAMS #SW 7069 IRON ORE
	EF-1 EFS SYSTEM PAINT SHERWIN WILLIAMS #SW 7069 IRON ORE
	EF-2 EFS SYSTEM PAINT DUNN EDWARDS D6366 TRILATH GRAY 25
	EF-3 EFS SYSTEM PAINT SHERWIN WILLIAMS #SW 7551 GREEK VILLA
	CB-1 WHITE CEMENT BOARD SIDING JAMES HARDIE HARDIE PLANK LAP SIDING ARCTIC WHITE
	ST-1 STOREFRONT KAWNEER 1600 SERIES PERMACOAT POWDER COATING / BONE WHITE



MATERIALS	
	MP-1 METAL PANEL ATAS ASCOT WHITE #10
	MP-2 METAL PANEL ATAS PATINA GREEN #12
	MP-3 METAL COPING ASCOT WHITE #10
	MP-4 METAL ATAS COPING ASCOT WHITE #10
	PT-1 STEEL COLUMN PAINT SHERWIN WILLIAMS #SW 7051 GREEK VILLA
	PT-2 STEEL "C" CHANNEL PAINT SHERWIN WILLIAMS #SW 7051 GREEK VILLA
	PT-3 STEEL RAILING PAINT SHERWIN WILLIAMS #SW 7051 GREEK VILLA
	PT-4 PAINT OF LETTERS PAINT SHERWIN WILLIAMS #SW 7069 IRON ORE
	EF-1 EFS SYSTEM PAINT SHERWIN WILLIAMS #SW 7069 IRON ORE
	EF-2 EFS SYSTEM PAINT DUNN EDWARDS DE3556 WILGUTH LV 25
	EF-3 EFS SYSTEM PAINT SHERWIN WILLIAMS #SW 7051 GREEK VILLA
	CS-1 WHITE CEMENT BOARD SIDING JAMES HARDIE HARDIE PLANK LAP SIDING ARTIC WHITE
	ST-1 STOREFRONT KAWNEER 1000 SERIES PENMACCAT POWDER COATING / BONE WHITE



SHAKE SHACK






















SHOPPES AT ARBOR LAKES, MAPLE GROVE, MN, USA

zebra

**Thank You**  
zebra

2020

## Attachment E

	PROPERTY LINE		DISTURBANCE LIMIT		ADJ. PATH		SETBACK LINE		EASEMENT LINE		CURB AND GUTTER		TRIP-OUT CURB AND GUTTER		TRANSITION CURB		RETAINING WALL		FENCE		CONCRETE PAVEMENT		CONCRETE DRIVEWALK		HEAVY DUTY BITUMINOUS PAVEMENT		NORMAL DUTY BITUMINOUS PAVEMENT		NUMBER OF PARKING SPACES		TRANSFORMER		SITE LIGHTING		TRAFFIC SIGN		POWER POLE		BOLLARD /POST	
---	---------------	---	-------------------	---	-----------	---	--------------	---	---------------	---	-----------------	---	--------------------------	---	-----------------	---	----------------	---	-------	---	-------------------	---	--------------------	---	--------------------------------	---	---------------------------------	---	--------------------------	---	-------------	---	---------------	---	--------------	--	------------	---	---------------	---

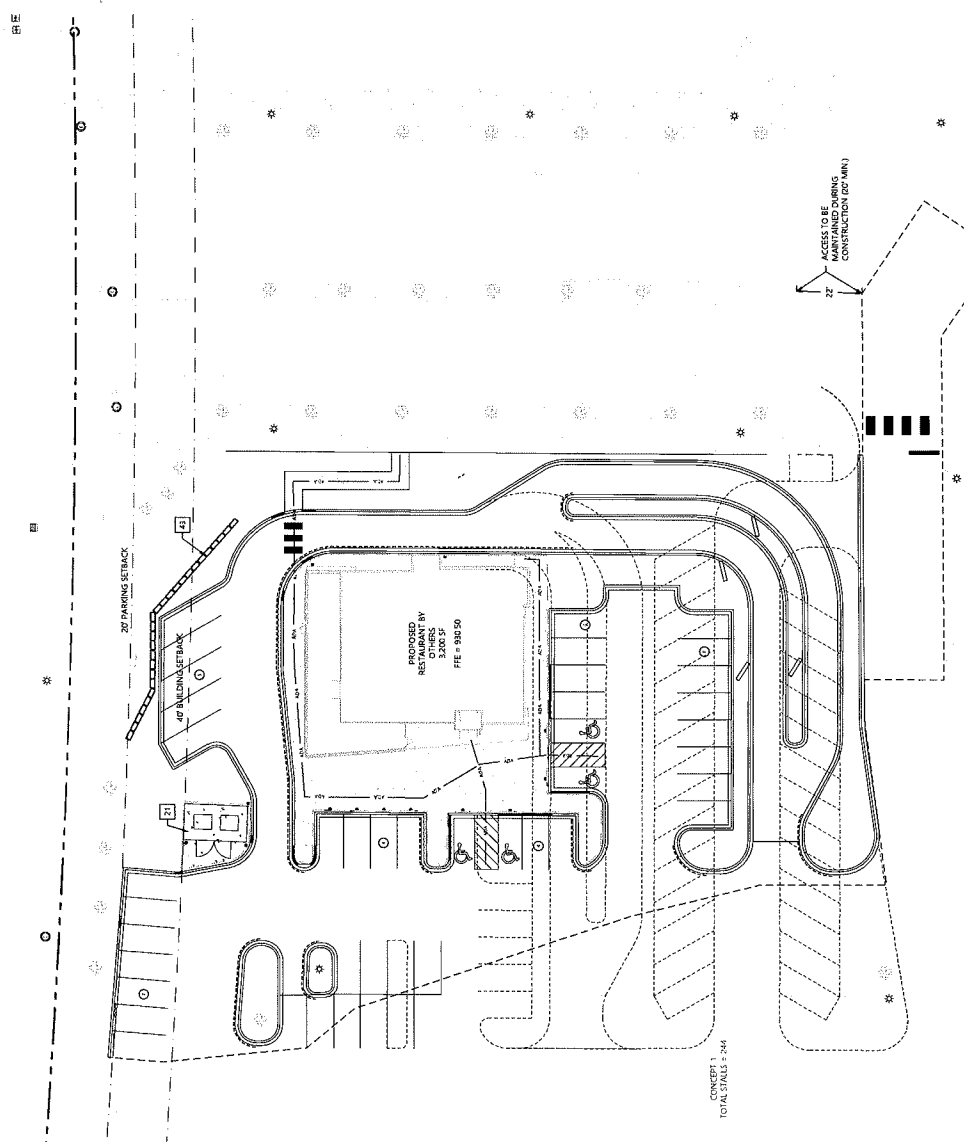


Figure 1 shows a 2x4 grid of images. The columns are labeled 0, 20, 40, and 60. The rows are labeled 1 and 2. The images show the evolution of a laser beam profile over time. At 0 ps, there is a single peak in each row. At 20 ps, the profile splits into two peaks. At 40 ps, the two peaks are more distinct. At 60 ps, the profile returns to a single peak.

NOT FOR CONSTRUCTION

## SITE PLAN

1000

020

DATE: 02/22/2021  
PROJECT NUMBER: 0024684.00

# Westwood

FINE (852) 937-5822  
 TOLL FREE (888) 937-5150  
 www.finepodr.com  
 4201 WILLOWHURST DRIVE, SUITE 2000  
 KENNESAW, MN 55243  
 Whitewood Professional Services, Inc.

**ARBOR LAKES  
NW OUTLOT**  
MAPLE GROVE, MN

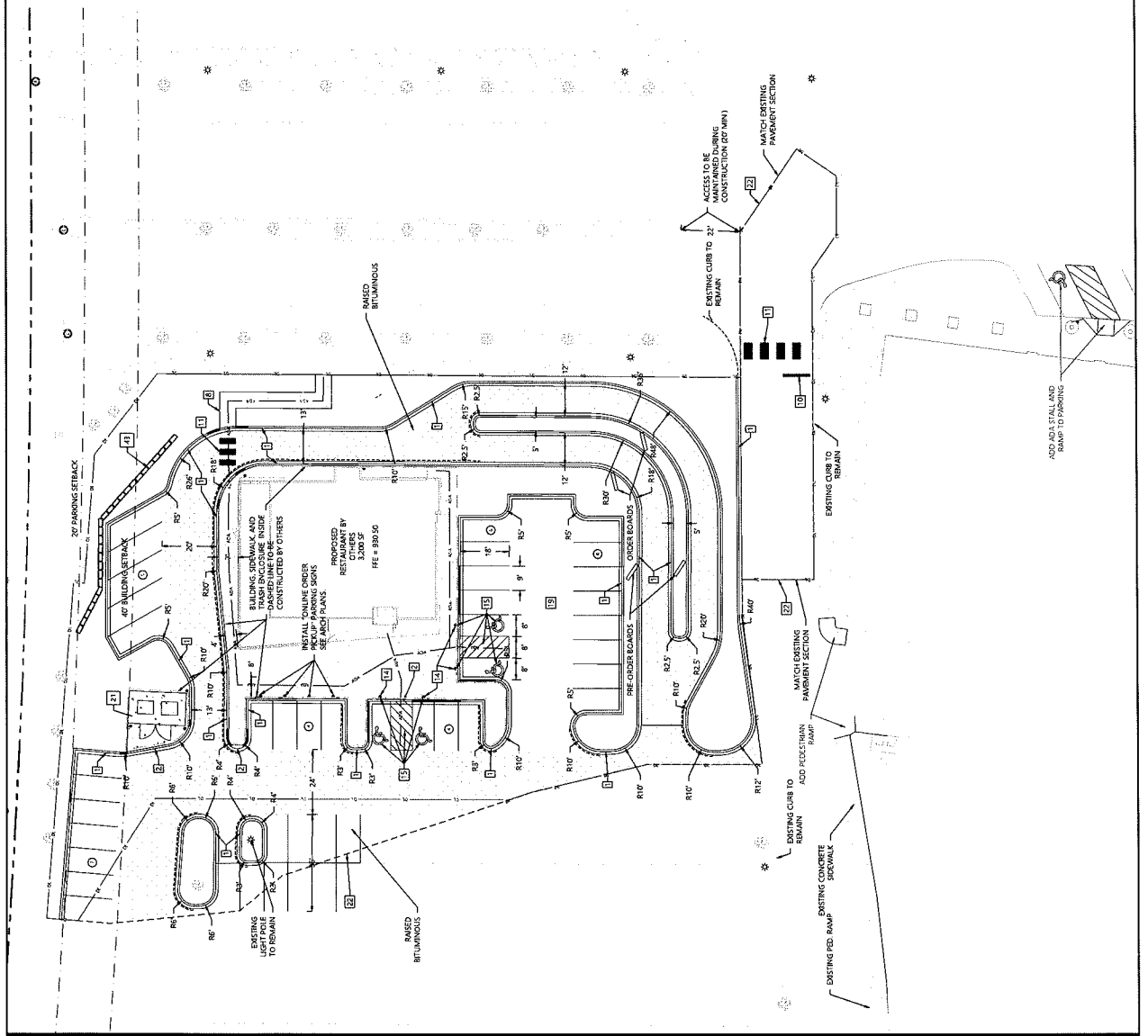
PAVLOV, I. GRADE  
02/22/2021 LICENSE NO. 18919

**CBRE UCR**  
12459 ELM CREEK BOULEVARD NORTH  
MAPLE GROVE, MN 55369

REVISIONS		
DRAWN BY		
CHECKED		
DESIGNED		
DATE	07/22/90	
HORIZONTAL SCALE	1"	
VERTICAL SCALE	4' or 2'	

CONCEPT 2  
TOTAL STAIRS = 245





SITE LEGEND

EXISTING	PROPOSED
PROPERTY LINE	— P —
DISTURBANCE LIMIT	— D —
ADA PATH	— A —
SETBACK LINE	— S —
EASEMENT LINE	— E —
CURB AND GUTTER	— C —
TRANSITION CURB	— T —
RETAINING WALL	— R —
FENCE	— F —
CONCRETE SIDEWALK	— CS —
HEAVY DUTY BITUMINOUS PAVEMENT	— HB —
NUMBER OF PARKING STALLS	— N —
TRANSFORMER	— TR —
SITE LIGHTING	— SL —
TRAFFIC SIGN	— TS —
POWER POLE	— PP —
BOLLARD / POST	— BP —

Attachment G

Call 48 hours before signing:  
811 or call 811.com  
Common Grounds Alliance

DATE: 02/22/2021
REVISIONS:
DESCRIPTION:
CHECKED:
DESIGNED:
APPROVED:
WESTWOOD PROFESSIONAL SERVICES, INC.

PREPARED FOR: **CARE UCR**  
12459 ELM CREEK BOULEVARD NORTH  
MAPLE GROVE, MN 55369

PROJECT NO: 002468400  
SHEET NO: 18919  
DATE: 02/22/2021

ARBOR LAKES  
NW OUTLOT  
MAPLE GROVE, MN

**Westwood**  
Westwood Professional Services, Inc.  
12300 Highway 100, Suite 200  
Maple Grove, MN 55369  
Phone: 763.429.1234  
Fax: 763.429.1235  
Email: info@westwoodps.com

**SITE PLAN**

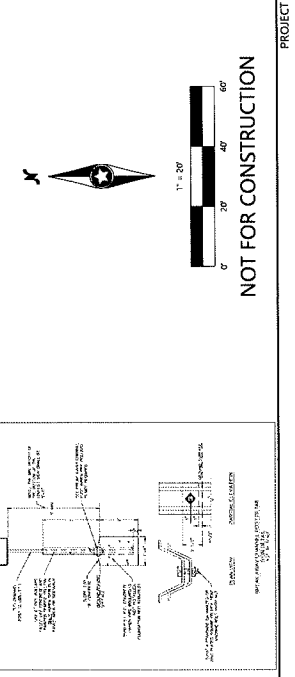
SHEET NUMBER  
**C2.0**  
DATE: 02/22/2021  
PROJECT NUMBER: 002468400

GENERAL SITE NOTES

1. BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, 2019.
2. LOCATIONS AND DIMENSIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITIES LOCATION PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY.
3. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
4. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
6. ALL CURB RADIUS SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
7. ALL CURB AND GUTTER SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES (SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLASHERS, AND LIGHTS) TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
9. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
10. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
11. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.
12. CONTRACTOR TO INSTALL FINAL LIFT OF ASPHALT AND CURB AROUND BUILDING ONCE BUILDING IS COMPLETE.

SITE DETAILS (SI-0XX)

1. 8" x 12" CURB AND GUTTER
  2. FLUSH CURB AND GUTTER (NO LIP - SEE DETAIL)
  3. PRIVATE PEDESTRIAN CURB RAMP
  10. PAINTED STOP BAR
  11. CROSS WALK STRIPING
  12. 6" x 6" CONCRETE CURB
  15. PAVEMENT SECTIONS
  21. HEAVY DUTY CONCRETE SECTION
  43. RETAINING WALL WITH FENCE USING SUEWIK SYSTEM
- ZONING
  - PARCEL DESCRIPTION
  - PROPERTY AREA
  - DISTURBED AREA
  - NET DECIDUOUS IN WOODLAND AREA
  - BUILDING GROSS SIZE
  - BUILDING SETBACK PER CODE
  - PARKING SETBACK
  - PARKING SPACED OUTSIDE
  - PARKING SPACED INSIDE
  - 75' STALLS
  - 15' STALLS
  - 4' STALLS
  - PROPOSED ADA MARKING



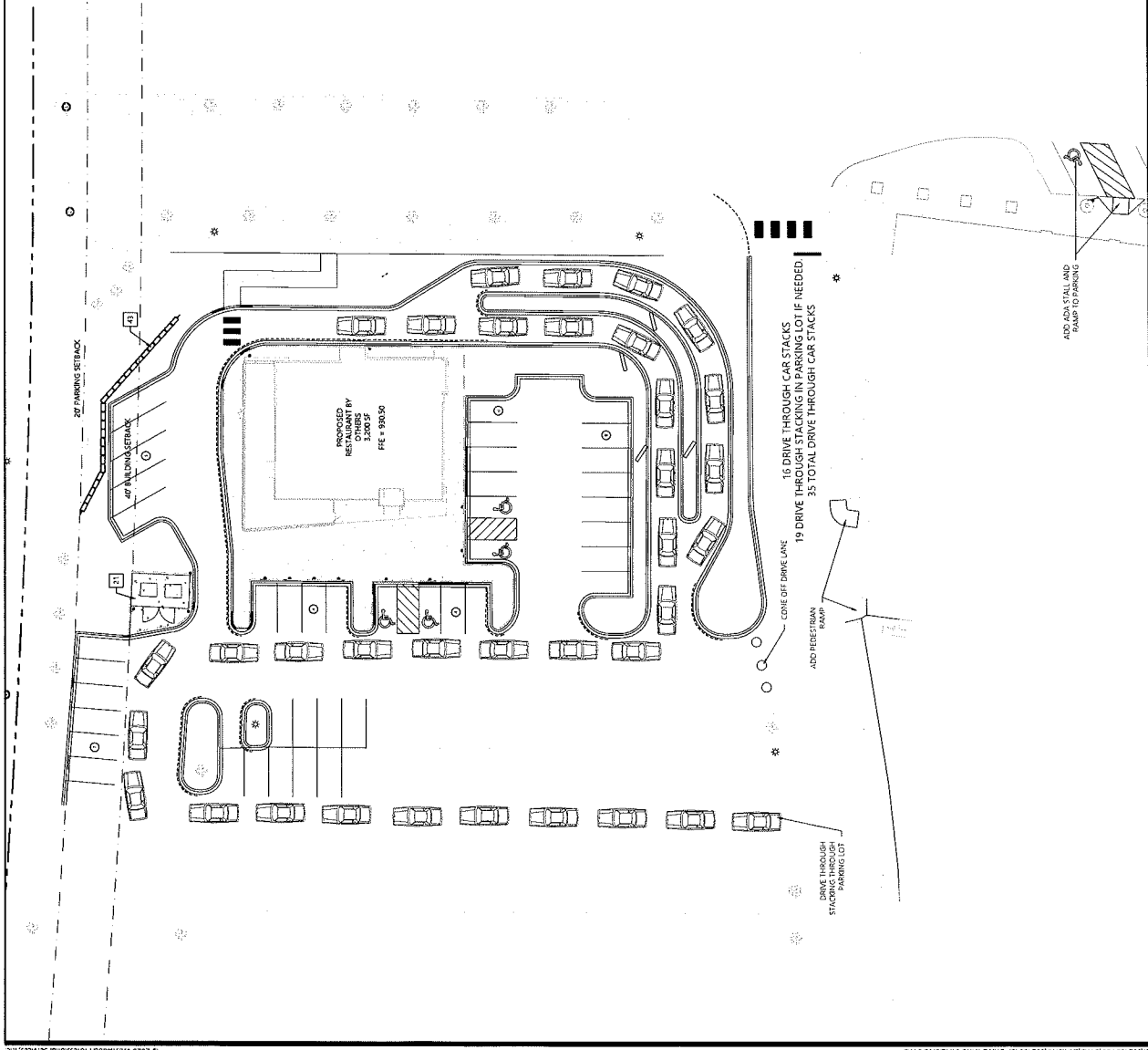
NOT FOR CONSTRUCTION

Call 48 hours before digging  
811 or call 811.com  
Commonwealth of Massachusetts

**SITE LEGEND**

**Attachment H**

- | EXISTING                        | PROPOSED                        |
|---------------------------------|---------------------------------|
| PROPERTY LINE                   | DISURBANCE LIMIT                |
| ADA PATH                        | ADA PATH                        |
| SETBACK LINE                    | SETBACK LINE                    |
| EXISTING DRIVE                  | EXISTING DRIVE                  |
| TR-CUT CURB AND GUTTER          | TR-CUT CURB AND GUTTER          |
| TRANSITION CURB                 | TRANSITION CURB                 |
| RETAINING WALL                  | RETAINING WALL                  |
| FENCE                           | FENCE                           |
| CONCRETE PAVEMENT               | CONCRETE PAVEMENT               |
| HEAVY DUTY BITUMINOUS PAVEMENT  | HEAVY DUTY BITUMINOUS PAVEMENT  |
| NORMAL DUTY BITUMINOUS PAVEMENT | NORMAL DUTY BITUMINOUS PAVEMENT |
| NUMBER OF PARKING SPACES        | NUMBER OF PARKING SPACES        |
| TRANSFORMER                     | TRANSFORMER                     |
| SITE LIGHTING                   | SITE LIGHTING                   |
| TRAFFIC SIGN                    | TRAFFIC SIGN                    |
| POWER POLE                      | POWER POLE                      |
| BOLLARD / POST                  | BOLLARD / POST                  |



**From:** [Derek Asche](#)  
**To:** [Joe Hogeboom](#)  
**Cc:** [Jupe Hale](#); [Kelly Matzke](#); [Jay Murzyn](#); [John Hagen](#); [Derek Asche](#)  
**Subject:** UPDATED Water Resources Comments - Shake Shack  
**Date:** Wednesday, February 24, 2021 3:48:00 PM  
**Attachments:** [Letter of Credit Template 100218.pdf](#)  
[image002.jpg](#)  
[Stormwater BMP Maintenance Declaration template.docx](#)  
[Construction Activity Site Inspection Checklist.xlsx](#)

---

All, below are water resource comments on the UPDATED Shake Shack application:

1. Plan set is dated 2/22/2021
2. A signed copy of the plans is required for approval.
3. Permits and/or reviews required:
  - a. City of Maple Grove grading permit if greater than 50 cubic yards of cut/fill. Grading permit application can be found [here](#).
    - i. Grading Permit fee based on area and quantity of cut/fill is required.
    - ii. Grading Surety based on disturbed area is required. Surety can be cash or letter of credit (LOC). If LOC, please follow the format on the attached example and provide me a draft for review and approval by our City Attorney before finalizing the document.
    - iii. Grading permit fee and surety worksheet can be found [here](#).
  - b. NPDES Construction Activity permit required if over 1 acre of disturbance
  - c. A right-of-way permit may be required for work in the right-of-way. Contact Kelly Matzke at 763.494.6365
  - d. A utility permit may be required for watermain, sanitary, or storm sewer. Contact the Building Division at 763.494.6060
4. Sheet C3.0 Grading Plan
  - a. Need EOF for CBMH 101. Must be 18" lower than FFE.
  - b. Provide EOF for CBMH 201 and CB 202. Must be 18" lower than FFE.
  - c. Maximize freeboard from CBMH 212 and CBMH 104 to
5. Sheet C3.1
  - a. Concrete washout area is required if trucks are not equipped such equipment. Call out on plan.
6. Rate control, water quality, and volume control are all satisfied either regionally or due to the reduction in impervious surface.

**Derek Asche**

Water Resources Engineer

763-494-6354

[dasche@maplegrovern.gov](mailto:dasche@maplegrovern.gov)



**TO:** Joe Hogeboom, Director of Community and Economic Development

**FROM:** John Hagen, P.E., PTOE, Transportation Operations Engineer

**DATE:** March 24, 2021

**SUBJECT:** Shake Shack Traffic and Parking Study – City Review Comments

The purpose of this memorandum is to summarize my review of Westwood's memo, dated March 23, 2021 that summarizes the trip generation, drive-through analysis, and parking analysis that was completed for the proposed Shake Shack located in an existing outlot of the Shoppes at Arbor Lakes development.

## **Review Comments**

I have reviewed the Westwood memo dated March 23, 2021 that summarizes their trip generation, drive-through queuing, and parking analysis, and offer the following comments. A copy of Westwood's Shake Shack Traffic and Parking Study memo is attached.

### **1. Trip Generation:**

- a. The proposed 3,200 SF restaurant is anticipated to generate approximately 1,500 trips on an average weekday with 163 trips occurring during the a.m. peak hour (85 inbound and 78 outbound trips), and 164 trips occurring during the a.m. peak hour (83 inbound and 81 outbound trips). It is anticipated that the restaurant's peak period will occur during the midday on Saturdays. During this Saturday midday peak hour, the proposed restaurant will likely generate approximately 432 trips (216 inbound and 216 outbound).
- b. **The trip generation assumptions are reasonable and acceptable** given the fact that they were based on the trip generation estimates for a fast-food restaurant with a drive-through provided in the 10th Edition of the Institute of Transportation Engineers Trip Generation Manual.

### **2. Trip Distribution and Assignment:**

- a. The traffic study assumed that 85 percent of the traffic to/from the restaurant would enter the site from Elm Creek Boulevard, while 15 percent would enter the site from other nearby roadways (i.e. – Main Street to the west and south, and Hemlock Lane to the east).
- b. **The trip distribution assumptions are reasonable and consistent with past traffic studies that have been conducted within the vicinity of the proposed development.**

- c. A review of the total trip assignment shown in Figure 5 of the Shake Shack Traffic and Parking Study memo revealed that the proposed restaurant will add less than one (1) vehicle per minute to any of the turning movements in/out of the Shoppes at Arbor Lakes development at the signalized Elm Creek Boulevard intersection with the Mall/Great River Energy Entrance.
- d. Recent traffic analysis of the signalized intersection of Elm Creek Boulevard with the Mall/Great River Energy Entrance revealed that it currently operates at an acceptable level of service (LOS) C during the weekday p.m. peak.
- e. **Since the key intersection of Elm Creek Boulevard with the Mall/Great River Energy Entrance currently operates at an acceptable LOS C during the weekday p.m., and the proposed Shake Shack will likely add less than one additional vehicle to any turning movements in/out of the Shoppes at Arbor Lakes during the peak hour, a detailed operational analysis is not required on the public roadway system.**

**3. Drive-Through Queuing Analysis:**

- a. The drive-through queuing analysis used that same methodology that was used for a Chick-fil-A restaurant in Washington State that has a similar dual-lane drive-through configuration as the proposed Maple Grove Shake Shack.
- b. **The queuing analysis methodology is acceptable and the results seem reasonable.**
- c. The anticipated 95th-percentile queue length of 12 vehicles at the drive-through is consistent with the City's expectation (12 to 14 vehicles) for similar restaurants with drive throughs.
- d. **The proposed on-site drive-through queue storage of 16 vehicles is sufficient to accommodate the typical demand (12 vehicles) of the proposed Shake Shack .**
- e. **The City appreciates that the applicant has developed a traffic management plan to deal with the potential times when the drive-through demand exceeds the proposed on-site drive-through queue storage. The proposed traffic management plan should help to minimize the likelihood of the drive-through spilling back onto the shopping center's northern internal circulatory road (*see attached Shake Shack memo dated 3/16/2021*).**

**4. Parking Analysis:**

- a. The existing parking field where the Shake Shack restaurant is proposed to be constructed contains 344 parking spaces. The construction of the restaurant will remove 79 parking spaces leaving 265 parking spaces for the proposed restaurant, the existing Red Lobster, and the existing Building "A" of the Shoppes at Arbor Lakes.
- b. An existing easement agreement with Red Lobster requires that at least 264 parking spaces are required to be maintained in this parking field. The remaining 265 parking spaces provides one more than what is required in this agreement.

- c. The Traffic and Parking Study estimates that the proposed Shake Shack and existing Building “A” have a peak parking demand of 198 parking spaces.
  - i. The Traffic and Parking Study states that the proposed restaurant will require 28 of these remaining 265 parking spaces.
  - ii. Using parking demand numbers from ITE’s Parking Generation Manual, the 46,873 SF Building “A” has a peak parking demand of 170 parking spaces.
- d. **The parking analysis is acceptable and the City agrees with the findings that the existing parking field (even after a loss of parking due to the proposed Shake Shack) is adequate for the estimated demand.**

If you have any questions, please contact me at your earliest convenience at (763) 494-6364.

Attachment: Westwood’s – Shake Shack Traffic and Parking Study memo dated 3/23/2021

cc: Ken Ashfeld, P.E., Public Works Director/City Engineer  
Jupe Hale, P.E., Assistant Public Works Director/Assistant City Engineer

## MEMORANDUM

Date: March 23, 2021

**Re: Shoppes at Arbor Lakes Outlot – Response to Traffic Comments**  
File #0024684.00

To: John Hagen, P.E., PTOE, City of Maple Grove Transportation Operations Engineer

From: Paul Villaluz, P.E., PTOE, RSP<sub>1</sub>

This memorandum has been prepared as a response to comments for the Shoppes at Arbor Lakes Outlot project that were listed in an e-mail from the City of Maple Grove dated March 1, 2021. Further comments from the City of Maple Grove were received in an e-mail dated March 4, 2021 and an e-mail dated March 23, 2021. All of the City of Maple Grove e-mails are included in **Appendix A**. This memorandum will contain the following:

- Trip Generation Analysis
- Drive-Through Queuing Analysis
- Parking Analysis

The Shoppes at Arbor Lakes Outlot project will be developed as a Shake Shack restaurant with double drive-through lanes. A Preliminary Site Plan is included as **Appendix E**.

### ***Trip Generation***

The 10<sup>th</sup> Edition of the Institute of Transportation Engineers' (ITE) Trip Generation Manual was used to estimate the number of vehicle trips that could be generated by the project. This manual is a standard reference used by municipalities and public agencies throughout the United States. The trip generation characteristics included in the manual are summarized by general land use type and are based on actual trip generation studies performed at numerous locations in areas of various populations.

There is no trip generation available for a Shake Shack restaurant with double drive-through lanes. Trip generation for the proposed Shoppes at Arbor Lakes Outlot project is based on average rate equations for the peak hour of generation for a Fast-Food Restaurant with Drive-Through (ITE Land Use Code 934). The resulting trip generation is summarized in **Table 1**. Calculations are provided in **Appendix B**.

**Table 1 – Shoppes at Arbor Lakes Outlot Trip Generation**

ITE Code	Land Use	Size	Weekday			AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total	In	Out	Total
934	Fast-Food Restaurant with Drive-Through Window	3.2 ksf GFA	754	753	1,507	85	78	163	83	81	164

*Institute of Transportation Engineers (ITE) Trip Generation, 10<sup>th</sup> Edition*

ITE defines pass-by trips as trips that are “made as intermediate stops on the way from an origin to a primary trip destination without a route diversion”. Pass-by trips are attracted from traffic passing the site on an adjacent street or roadway that offers direct access to the generator. ITE has identified the following pass-by trip rates for the land uses below:

- Fast-Food Restaurant with Drive-Through Window (ITE Land Use 934)
  - 49% during the AM peak hour and 50% during the PM peak hour

The pass-by trip rates summarized above were applied to the project trips summarized in **Table 1**, with the resultant pass-by trip generation for the Shoppes at Arbor Lakes Outlot project summarized in **Table 2**.

**Table 2 – Shoppes at Arbor Lakes Outlot Peak Hour Pass-By Trip Generation Summary**

ITE Code	Land Use	Size	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
934	Fast-Food Restaurant with Drive-Through Window	3.2 ksf GFA	42	38	80	41	41	82

The primary trips added to the surrounding street network are summarized in **Table 3**. These primary trips were calculated by subtracting the pass-by trips in **Table 2** from the project trips in **Table 1**. Primary trips are the net new trips added to the surrounding street network.

**Table 3 – Shoppes at Arbor Lakes Outlot Peak Hour Primary Trip Generation Summary**

ITE Code	Land Use	Size	AM Peak Hour			PM Peak Hour		
			In	Out	Total	In	Out	Total
934	Fast-Food Restaurant with Drive-Through Window	3.2 ksf GFA	43	40	83	42	40	82



### ***Trip Distribution***

The directional distribution of project traffic quantifies the percentage of project-generated traffic that arrives and departs the project site in each direction by type of use. This project includes uses that generate primary and pass-by project trips. The primary trip distribution quantifies the percentage of site-generated traffic that generally arrives and departs the project site along the same route. Primary trips are new trips to the street network and project driveways. **Figure 1** illustrates the anticipated primary project trip distribution for the Shoppes at Arbor Lakes Outlot project. The primary trip distribution is based on anticipated access restrictions and internal circulation through each project driveway, anticipated trip origins and destinations with the surrounding areas, and engineering judgment.

The pass-by trip distribution quantifies the percentage of site-generated traffic that makes intermediate stops on the way from an origin to a primary trip destination without a route diversion. **Figure 2** illustrates the anticipated pass-by project distribution during the AM and PM peak hours. Pass-by trips are attracted from traffic passing the site on an adjacent street or roadway such as Elm Creek Boulevard that offers direct access to the generator. Therefore, they generally divert from their original direction of travel into the project site and then exit the site and continue in their original direction of travel. Pass-by trips are not new trips to the street network but they are new project driveway trips. The pass-by trip distribution was based on the anticipated trip distribution at the intersection of Elm Creek Boulevard and the Mall Entrance.

### ***Trip Assignment***

Project traffic assignment was calculated by applying the pass-by trip distribution percentages found in **Figure 2** to the pass-by project trip generation found in **Table 2** and the primary trip distribution percentages found in **Figure 1** to the primary project trip generation found in **Table 3**. The resulting traffic assignments at the intersections are illustrated in **Figure 3** for the primary trip assignment and **Figure 4** for the pass-by trip assignment. The total traffic assignment is provided in **Figure 5**.

### ***Queuing Analysis***

The methodologies outlined in the attached Traffic Impact Analysis for a Chick-fil-A restaurant with double drive-through lanes in Fircrest, Washington (see **Appendix C**) were used for the purpose of estimating the anticipated drive-through storage needs.

The average queue storage length was calculated using the following equation for a M/M/1 queue model:

$$\text{Average Queue Length (veh)} = \frac{\rho^2}{1-\rho};$$

where  $\lambda$  = Average Arrival Rate (veh/min),

$\mu$  = Average Departure Rate (veh/min), and

$$\rho = \lambda / \mu$$

The 95<sup>th</sup> Percentile Queue Length (veh) is calculated as a function of the Average Queue Length with the following equation from Paper No. 01-2019 of Transportation Research Record 1776.

$$L_{95\%} = 1.3L + 2.1\sqrt{L} + \frac{L}{L + 4.6}$$

where L = Average Queue Length (veh)

The future drive-through queue calculations for this restaurant are listed in **Table 4**. It is assumed that 80% of the vehicles that arrive during the worst-case peak hour (AM peak hour) will use the drive-through lanes.

Service time is defined as the amount of time that a vehicle spends at the window completing a transaction and receiving their order and the “move up” time. This includes time to pay, time to receive the food order, and the time for the next vehicle to move up to the pick-up window. A 45-second service time is assumed for the AM peak hour based on the Chick-fil-A TIA.

**Table 4 – Shoppes at Arbor Lakes Outlot Future Drive-Through Queue Calculations**

80% of # of vehicles arriving	Time Period (min)	$\lambda$ Average Arrival Rate (veh/min)	Service Time (sec)	$\mu$ Average Departure Rate (veh/min)	$\rho = \lambda / \mu$	Average Queue Length (veh)	95 <sup>th</sup> Percentile Queue Length (veh)
68	60	1.1	45	1.3	0.85	5	12

The project site plan included in **Appendix E** illustrates a queue storage of 220 feet on the inside lane and 184 feet on the outside lane. The proposed queue storage is anticipated to accommodate a total of 16 vehicles – 9 vehicles on the inside lane and 7 vehicles on the outside lane. **Therefore, the proposed on-site queue storage is sufficient for anticipated demand.**

Even though the proposed on-site queue storage is anticipated to be sufficient for the expected demand, Shake Shack staff will enact the following procedures on an as-needed basis during periods of increased demand (i.e., opening weeks, extremely busy peak hours, etc.) to lessen the possibility of spillback onto the northern internal road.

- Traffic cones will be used to reduce the possibility of spillback into the northern internal road and to extend the drive through lanes through the existing parking field.
- Shake Shack staff members will take orders remotely in the drive through lanes and direct traffic as needed.
- Customers with orders that will take longer to fulfill will be asked to park in designated spaces to keep the pick-up window clear. Shake Shack staff will deliver the completed orders to patrons parked in these spaces.

Please see **Figure 6** for more information.

### ***Parking Analysis***

Presently there are 344 stalls in the parking field located to the west of the project. The footprint of the proposed restaurant is anticipated to remove 79 stalls from the parking field. CBRE proposes to provide 265 on-site parking stalls within the parking field directly to the west of the proposed restaurant.

This number of stalls is one more than the 264 stalls that are required to be maintained in the attached easement agreement with the Red Lobster that is directly located to the west of the project (see **Appendix D**).

The 265 stalls in this parking field will most likely serve the Shake Shack project and portion of the businesses in Building A of the Shoppes at Arbor Lakes. Building A is presently partially occupied – Areas A1, A6, A7, A13, and A24 are currently vacant (see **Appendix D**).

#### **Shake Shack**

According to the 5<sup>th</sup> edition of ITE's Parking Generation Manual, the peak parking demand rate for Land Use Code 934 is 8.66 stalls per 1,000 sf GFA. The resulting estimated peak parking demand is 28 stalls (i.e., 8.66 stalls x 3.2 ksf GFA) (see **Appendix D**).

According to a parking study prepared by Westwood on January 20, 2020, the 5,165 sf Shake Shack on 6603 France Ave S in Edina, Minnesota had an observed peak parking demand of 35 stalls. The resulting peak parking demand rate is 6.77 stalls per 1,000 sf GFA (i.e., 35 stalls / 5.165 ksf GFA). Application of this peak parking demand rate to the proposed 3.2 ksf project results in a peak parking demand estimate of 22 stalls (see **Appendix D**).

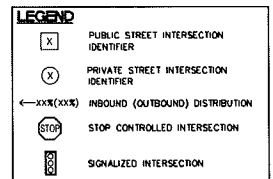
#### **Building A**

Data from the 5<sup>th</sup> edition of ITE's Parking Generation Manual estimates the peak parking demand of the existing Building A (46,873 sf) to be 170 stalls. This is based on ITE Land Use Code 820 (Shopping Center).

#### **Total**

A conservative estimate of parking demand for this field of 198 stalls is calculated by adding the 28 stalls for the Shake Shack to the 170 stalls for a fully-occupied Building A.

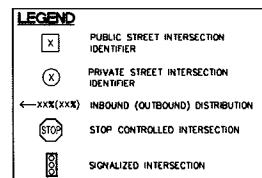
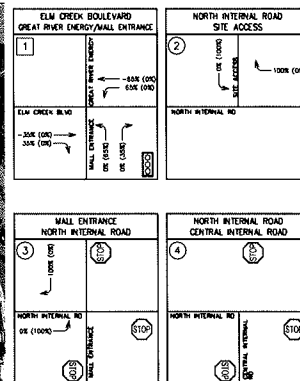
**The 265 stalls provided in the parking field are adequate for this conservatively estimated demand of 198 stalls.**



**FIGURE 1**  
**Westwood**

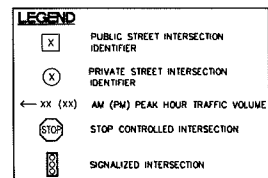
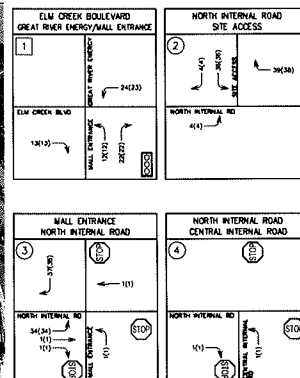
Phone: (805) 837-1134  
Fax: (805) 817-4412  
westwood.com

Westwood Petroleum Services, Inc.  
1717 Westwood Drive, Suite 800  
Westwood, CA 91361



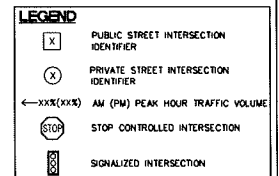
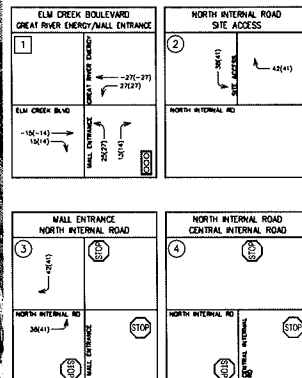
SHOPPES AT ARBOR LAKES OUTLOT  
PASS-BY TRIP DISTRIBUTION

**FIGURE 2**  
**Westwood**



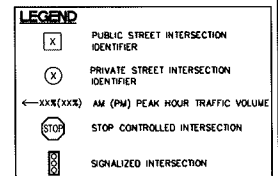
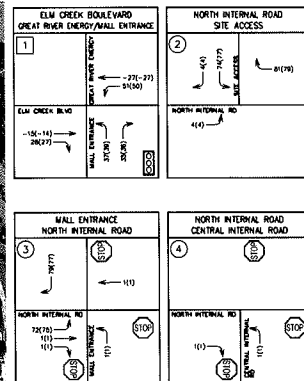
**SHOPPES AT ARBOR LAKES OUTLOT  
PRIMARY TRIP ASSIGNMENT**

**FIGURE 3**  
**Westwood**



SHOPPES AT ARBOR LAKES OUTLOT  
PASS-BY TRIP ASSIGNMENT

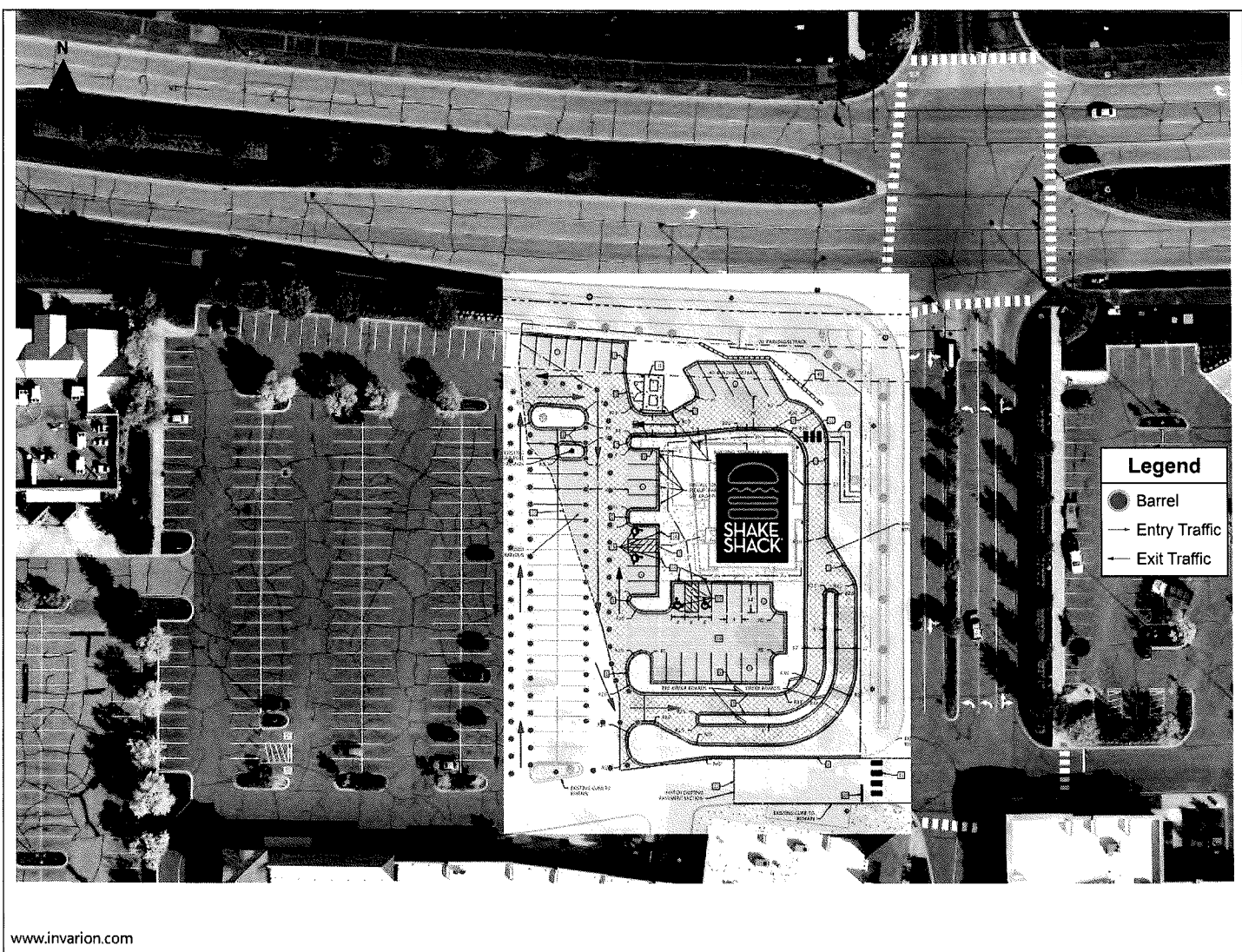
**FIGURE 4**  
Westwood



SHOPPES AT ARBOR LAKES OUTLOT  
TOTAL TRIP ASSIGNMENT

**FIGURE 5**  
**Westwood**







**MEMORANDUM**

**Date:** 03/16/2021

**RE:** Shoppes at Arbor Lakes Outlot – Response to Traffic Comments  
File #0024684.00

**To:** John Hagen, P.E., PTOE, City of Maple Grove Transportation Operations Engineer

**From:** Matt Mathis, Sr. Project Manager of Real Estate Development, Shake Shack Minnesota LLC

This memorandum is to confirm how Shake Shack intends to manage and prevent overflow drive through traffic at Shoppes at Arbor Lakes and is in support of the memorandum and Traffic Analysis written by Paul Villaluz, P.E., PTOE, RSP with Westwood dated 03/16/2021.

In the event there is increased demand during opening weeks or other extremely busy peak hours, Shake Shack staff will enact the following procedures to lessen the possibility of spillback onto the northern internal road.

- Traffic cones will be used to reduce the possibility of spillback into the northern internal road and to extend the drive through lanes through the existing parking field.
- Shake Shack staff members will take orders remotely in the drive through lanes and direct traffic as needed.
- Customers with orders that will take longer to fulfill will be asked to park in designated spaces to keep the pick-up window clear. Shake Shack staff will deliver the completed orders to patrons parked in these spaces.

Respectfully,

A handwritten signature in black ink, appearing to read "Matt Mathis", written over a horizontal line.

Matt Mathis

Senior Project Manager, Real Estate & Development  
Shake Shack Minnesota LLC  
[mmathis@shakeshack.com](mailto:mmathis@shakeshack.com)





12800 Arbor Lakes Parkway, P.O. Box 1180, Maple Grove, MN 55311-6180

**FIRE-RESCUE DEPARTMENT**

**Fire Operations**

763-494-6300

763-494-6421 – Fax

**Fire Prevention**

763-494-6090

763-494-6439-Fax

March 8, 2021

RE: Shake Shack

Fire department has reviewed the preliminary plans for Shake Shack dated 02/22/2021 and have the following comments:

1. The Fire Department Connection will need to be piped to the Southwest corner of the building.

Please feel free to contact me with any questions or clarifications.

Sincerely,

*Eric Lind*

Fire Inspector

Office: 763-494-6094

Cell: 612-598-0969

[ELind@MapleGroveMN.gov](mailto:ELind@MapleGroveMN.gov)

## REQUEST FOR COUNCIL ACTION

April 19, 2020

**DATE**

7A

**AGENDA ITEM**

**ORIGINATING DEPT**


**AGENDA ITEM**

**CITY ADMINISTRATOR  
APPROVAL**

John Hagen, P.E., PTOE  
Transportation Operations  
Engineer



610 Extension Project  
City Project No. 19-24  
Final Design Services



### PREVIOUS ACTIONS:

Council, at their February 20, 2018 meeting, adopted Resolution No. 18-032 indicating support for the CSAH 610 project. At their September 3, 2019 meeting, Council adopted Resolution No. 19-105 indicating support for the Highway 610 Extension project in the City of Maple Grove. At their January 21, 2020 meeting, Council accepted the proposal from SRF Consulting Group, Inc. to complete the first half of the Preliminary Design – Part B. At their November 2, 2020 meeting, Council accepted the proposal from SRF Consulting Group, Inc. to complete the second half of the Preliminary Design – Part B.

### RECOMMENDED COUNCIL ACTION:

Motion to accept proposal from SRF Consulting Group, Inc. to provide final design services for the Highway 610 Extension project in the amount of \$2,202,739.

### COMMENTS:

The preliminary design and environmental documentation are currently underway under the previously approved contracts for the Highway 610 Extension project (City Project No. 19-24). The Preliminary Layout has been submitted, but still requires review and approval by MnDOT, FHWA and other approval agencies. The completion of the layout work and the required environmental documentation will be completed under the previously approved preliminary design activities. However, in order to begin construction on the project in 2022 (to follow the current work along I-94), and to better position the Highway 610 Extension project as a “shovel ready” project in our ongoing funding pursuits, it is important that final design commence concurrently, as much as possible, with the finalization of the preliminary layout and environmental documentation.

To date, with Council’s earlier support of the 610 Extension project, the City hired SRF Consulting Group, Inc. to complete the Initial Phase of the 610 Extension project that included data collection, traffic modeling and analysis that enabled the City to secure preliminary buy-in from MnDOT and Federal Highway Administration (FHWA) at a cost of \$100,347. The work associated with the completion of an Environmental Assessment (EA), MnDOT Staff Approved Layout, and right-of-way basemap that is allowing us to pursue the necessary right-of-way to construct the proposed 610 Extension project cost of approximately \$676,000.

610 Extension Project (City Project No. 19-24)

Final Design Services

April 19, 2021

Page 2

A proposal was received from SRF Consulting Group, Inc. to provide final design services for the Highway 610 Extension project. SRF Consulting Group, Inc. completed the environmental documentation and preliminary design of the most recent section of TH 610 that was constructed in 2017, and has been involved with much of the transportation planning, preliminary design, and environmental work along the 610 corridor within the City of Maple Grove over the last three decades. The final design services include: topographic survey and data collection, geotechnical investigation, final design (civil, water resources, structures, signal/traffic and lighting), bidding administration, public engagement and website, additional traffic studies, and permit and miscellaneous assistance. These tasks will take approximately 12 months at a cost of \$2,202,739.

The final design phase of the Highway 610 Extension (City Project No. 19-24) will be financed on an interim basis from the City Trunk Transportation Fund. However, these funds will be reimbursed with a combination of revenues from future cooperative agreements with our agency partners (e.g. – Hennepin County and MnDOT), State Aid, and/or bonding.

It is recommended that the Council accept the proposal from SRF Consulting Group, Inc. to provide final design services for the Highway 610 Extension (City Project No. 19-24) at a cost of \$2,202,739.

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Attachment A: SRF Consulting Group, Inc. Proposal for CSAH 610 Extension Final Design

Attachment B: CSAH 610 Preliminary Project Schedule

Attachment C: Project Location Map



February 1, 2021

John Hagen, PE, PTOE  
Transportation Operations Engineer  
City of Maple Grove  
12800 Arbor Lakes Parkway  
PO Box 1180  
Maple Grove, MN 55331

Subject: Proposal for Professional Services for CSAH 610 Extension Final Design  
Maple Grove, MN

Dear John Hagen:

Based on your request, SRF Consulting Group, Inc. (SRF) is pleased to submit this proposal to advance the project design from the preliminary layout stage through final design to project bidding and award. The preliminary design and environmental documentation is currently underway under the previously approved contracts. The main deliverables of this work are listed under the Scope of Services section below. The Preliminary Layout has been developed, but still requires review and approval by MnDOT, FHWA and other approval agencies. The completion of that work will be completed under the previous contracted scope. However, based on the desire to begin construction in 2022, which is an aggressive schedule, it is important that final design commence concurrently, as much as possible, with the finalization of the Preliminary Layout and Environmental Documentation.

### **Scope of Services**

We propose to carry out the work ("Scope of Services") in the following tasks:

1. Meetings and Project Management
2. Public Engagement and Website
3. Topographic Survey & Data Collection
4. Right of Way and Easement Documents and Acquisition
5. Civil Final Design
6. Water Resource Final Design
7. Structures Design

8. Signal Design / Traffic Design
9. Lighting Design
10. ITS Design
11. Bidding Administration
12. Geotechnical Investigation and Administration
13. Additional Traffic Studies
14. Permits and Miscellaneous Assistance

### **Assumptions**

Assumptions for the preparation of this proposal are found in the attached Work Task and Person Hour Estimate, Attachment A. We further understand that this project has been awarded Federal Funding during a recent regional solicitation and also awarded bonding funds by the Minnesota Legislature in 2020. These funding elements have been taken into account when preparing the scope to address the known requirements of those programs.

### **Schedule**

We will complete this work within a mutually agreed-upon time schedule. We have prepared and attached an updated Preliminary Schedule, Attachment B, which outlines our current understanding of the approximate timing of the project tasks. We understand that the desire is to begin construction on the project in 2022 to follow the completion of the work on I-94. The schedule we have provided shows tasks and timelines to allow that to occur. However, much of the schedule and ability to stay on that schedule depends on the ability to work concurrently on preliminary design and final design and also for timely reviews, meetings and approvals to occur. Many of those elements that control the schedule are not within our control and may ultimately affect the schedule. Additionally, the MnDOT bridge office may require delivery of the bridge design on a schedule that differs from the overall schedule. However, we will strive to have the two schedules work together to meet the understood construction schedule.

### **Basis of Payment/Budget**

We propose to be reimbursed for our services on an hourly basis for the actual time expended as an extra service consistent with our Consultant Services Agreement. Other direct project expenses such as printing, supplies, reproduction, etc., will be billed at cost and mileage will be billed at the current allowable IRS rate for business miles. Invoices are submitted on a monthly basis for work performed during the previous month. Payment is due within 30 days.

Based on our understanding of the project and our scope of services, we estimate the cost of our services to be \$2,202,739 which includes both time and expenses. We have taken into account previous work and work that continues under the preliminary design scope and identified work that is needed to advance the design from the completion of the preliminary design.

A detailed fee estimate by work task is included in Attachment A. We will not exceed this amount unless we receive written authorization from the City.

### Changes in the Scope of Services

It is understood that if the scope or extent of work changes, the cost will be adjusted accordingly. Before any out-of-scope work is initiated, however, we will submit a budget request for the new work and will not begin work until we receive authorization from you.

### Acceptance/Notice to Proceed

A signed copy of this proposal, mailed or emailed to our office, will serve as acceptance of this proposal and our notice to proceed. The email address is [mturner@srfconsulting.com](mailto:mturner@srfconsulting.com).

We sincerely appreciate your consideration of this proposal and look forward to working with you on this project. Please feel free to contact us if you have any questions or need additional information.

Sincerely,

SRF CONSULTING GROUP, INC.



Michael R. Turner, PE (MN SD TX)  
PE Principal



Kenneth A. Holte,  
Vice President

MRT/KAH/ko

Attachment A— Work Task and Person Hour Estimate

Attachment B – Preliminary Schedule

**Approved (City of Maple Grove)**

\_\_\_\_\_  
(signature)

Name \_\_\_\_\_

Title \_\_\_\_\_

Date \_\_\_\_\_

**This cost proposal is valid for a period of 90 days. SRF reserves the right to adjust its cost estimate after 90 days from the date of this proposal.**



SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

Work Tasks and Person-Hour Estimates



P14297.PP

Subconsultants: AET	
TASK NO.	SUMMARY OF TASKS
1.0	Project Management
2.0	Public Engagement & Website
3.0	Topographic Survey & Data Collection
4.0	Right of Way and Easement Documents and Acquisition
5.0	Civil Final Design
6.0	Water Resource Final Design
7.0	Structures Design
8.0	Signal Design / Traffic Design
9.0	Lighting Design
10.0	Utility Coordination
11.0	ITS Design
12.0	Bidding Administration
13.0	Geotechnical Oversight
14.0	Additional Traffic Studies
15.0	Permits and Miscellaneous Assistance

Project Overview:

This proposal contains the required tasks to complete Final Design activities for the proposed CSAH 610 roadway project. This project contemplates the connection of existing TH 610 to the west across I-94 to its terminus at CSAH 30. The project limits include the proposed county road interchange at I-94 just south of the TH 610/I-94 Interchange, I-94 auxiliary lanes from proposed interchange to Maple Grove Parkway, from the west connection at existing County Road 30 to the TH 610 / Maple Grove Parkway Interchange, include local access road connections affecting Lawndale Lane and 105th Avenue connection to the future County Road. The final design is anticipated to take approximately 14 months and will overlap with the preliminary design contract. The work will be designed and coordinated with adjacent work on I-94.

## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates



P14297.PP

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR ASSOC.	ASSOCIATE	SR PROJ	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
1.0	<b>Project Management</b> <b>Assumptions:</b> - Final Design to closely match what is shown in the current developed Preliminary layout to be submitted for staff approval. - No alternatives evaluations or significant redesign is included in this scope - QA/QC checks will follow SRF's QMP with basic quality documentation - Assumed project duration of 14 months (February 2021 to April 2022). Project management through May 2021 is included in previous scope of work. Project management in this scope is a duration of 12 months (May 2021 to April 2022). - All meetings will be attended by two (2) staff persons (unless otherwise noted) virtually with the possibility of switching to at the City of Maple Grove office later in 2021. - PMT Meetings will continue to be led by Maple Grove including agenda and meeting minutes - QA/QC hours included in individual tasks, QA/QC compliance reviews and audits included below.	144	0	144	0	0	0	0	288	\$46,512
<b>Client Deliverables:</b>										
<b>Staff participation in project activities</b>										
1.1	<b>Project Administration and Coordination</b> Administration of the project will include monthly progress reports, invoicing, cost and schedule updates, billing preparation, coordination with sub consultants, other non-technical work, and communication with the project personnel to ensure project tasks are completed on time, within budget, and in accordance with state and federal laws, rules, and regulations (assumes 12 hours/month x 2 staff x 12 months).	120	0	0	0	0	0	0	120	\$22,800
1.2	<b>Quality Assurance and Quality Control</b> SRF will implement quality management audits for 60% (40 hrs.), 95% (40 hrs.), and 100% (40 hrs.) plan deliverables. Hours shown for Project Manager only.	26	0	26	0	0	0	0	52	\$8,398
1.3	Bi-weekly check-in project meetings with SRF and City project managers (assumes 30 min/meeting x 12 months (52 weeks/2). 1 Project Manager + 1 Lead Engineer (30 mins/meeting), also includes 15 mins of prep time and 15 mins of follow up time per meeting for PM)	32	0	32	0	0	6	0	70	\$11,044
1.4	Design coordination meetings with City and other regulatory agency staff (Hennepin County, MnDOT, FHWA, Fed Aid and/or I 94 DB staff (assumes up to 10 meetings x 2 SRF staff x 2 hours/meeting + 1.5 hour prep time)	36	0	66	0	66	0	0	168	\$22,416
1.5	SRF shall attend monthly PMT meetings to discuss issues related to design decisions, permitting, schedule, plan review timelines, and final plan approval. Tasks includes preparation of agendas, action list, and meeting minutes within one week of meeting. Time includes scheduling, preparation, and travel (if needed). SRF attendees will include SRF PM and up to two additional technical staff as appropriate (assumes up to 12 meetings x 3 SRF staff x 2 hours/meeting + 8 hour prep time)									
<b>SRF Deliverables:</b>										
Monthly project schedule and status reports										
<b>SUBTOTAL - TASK 1</b>		<b>358</b>	<b>0</b>	<b>268</b>	<b>0</b>	<b>66</b>	<b>6</b>	<b>0</b>	<b>698</b>	<b>\$111,170</b>

## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates



TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
2.0	<b>Public Engagement &amp; Website Assumptions:</b> - Assumed project duration of 14 months (February 2021 to April 2022). - Project website updates of up to 8 times at key project milestones (Layout, 60%, 90%, 100%, two (2) open houses, start of construction, + 1 additional update) - Public Meeting notices will be prepared and published by Maple Grove - Public Meetings are to be held virtual  <b>Client Deliverables:</b> - Project website and posting of materials - Staff participation in project activities	4	0	4	0	14	15	0	37	\$4,504
2.1	Prepare for and attend (1) additional Public Meeting. Assumes 4 hours x 3 SRF staff/meeting + 25 hours material preparation. (One Open House Meeting was included in previous scope of work)	0	0	5	0	0	0	0	5	\$685
2.2	Website Set Up (IT Staff)	0	8	0	20	8	0	0	36	\$4,532
2.3	Website Set Up (Marketing Staff)	0	80	0	80	40	0	0	200	\$27,400
2.4	Project Website Updates Coordinate with project stakeholders to develop materials for updates to the project website. SRF will provide display materials and update the website accordingly at key project milestones throughout the 14 month contract.									
	<b>SRF Deliverables:</b> - Set up and maintain public website - Attend Public Open House	4	88	9	100	62	15	0	278	\$37,101
	<b>SUBTOTAL - TASK 2</b>									

## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates



P14297.PP

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
3.0	<b>Topographic Survey &amp; Data Collection</b> <b>Assumptions:</b> - Mapping and surveys will be delivered in Hennepin County Coordinates English units (NAD83 1996 adjustments for horizontal datum and NAVD 88 for the vertical datum). - Survey will be performed at potential connection points and areas near the corridor, but will not include survey on or along I-94. Additional Survey may be necessary for final design. - The existing right of way base file is substantially complete. - Utility mapping will be quality level D; No SUE mapping included in this scope									
	<b>Client Deliverables:</b> - Provide applicable City Utility mapping									
3.1	Conduct Utility Survey from GSDC and data processing.	0	4	0	0	0	24	0	28	\$3,536
3.2	Generate Utility Base Map for project.	0	0	6	0	20	0	0	26	\$2,858
3.3	Generate surface through farm fields to calculate Earthwork using Drone technology. (Assumes acceptable accuracy is +/- 0.2' as no hard tie-ins are necessary)	8	2	8	11	0	9	0	38	\$5,263
3.4	Supplemental topographic survey from items like (topo for ponds or BMPS, tie in areas, Misc. drainage structures, etc.) within the project as needed to complete project design. Includes data processing time.	0	6	0	0	0	32	0	38	\$4,832
3.5	Conduct topographic survey of tie in areas along I 94 after the I 94 DB project is substantially complete and process data.	0	4	0	0	0	20	0	24	\$3,064
	<b>SRF Deliverables:</b> - Utility Base Map in MicroStation									
	<b>SUBTOTAL - TASK 3</b>	8	16	14	11	20	85	0	154	\$19,553

**SRF Consulting Group, Inc.**

Client: City of Maple Grove

Project: 610 Extension Final Design

**Work Tasks and Person-Hour Estimates**

P14297.PP

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
4.0	<b>Right of Way and Easement Documents and Acquisition Assumptions.</b> - There are 13 impacted parcels. Two of these are City owned and will not be included in this scope. Therefore, SRF proposes to provide title, appraisal, review appraisal and acquisition services for 11 partial acquisition parcels.  It is assumed that lender consents / subordinations will be obtained on any permanent or temporary easement parcels. <u>Estimated bank fees for these subordinations are NOT included and will be billed at actual cost.</u> City will provide closing services for the fee acquisitions, record documents and handle the condemnation process. If required as well as any activates required to create subdivisions due to fee acquisitions. No mortgage consents or subordinations will be obtained on temporary easement only parcels.									
	<b>Client Deliverables:</b> - Timely review of SRF deliverables. Bank Fees for subordinations and/ or partial releases, Recording of documents, closing activates on fee acquisitions, activates required to create subdivisions due to fee acquisitions and condemnation, if required.									
4.1	Project Administration and Coordination - Project Management - Initial Contact Letter - Monthly Project Status Worksheet - Just Compensation Memo - Preparation for and arranging audit for Right of Way Certificate - Quality management audits for all submittals QA/QC checks will follow QMP with basic quality documentation Prepare Parcel sketches Prepare Legal Descriptions Provide Staking for Appraisals Relocation (Not Applicable) Field Title, Direct Purchase and Review Appraisal Activities (assumes 11 Parcels and Billboard Easement Parcel) Direct Purchase Activities - Field Title - Offer packages - Offers to owners - Good Faith Negotiations - Administrative Settlements - Mortgage Involvement (assumed 11 mortgage companies- no direct fees included) - Last Written Offers - Right of Way Certificate #1 preparation and audit preparation Appraisals and Review Appraisals (By Sub) (SRF Coordination)	12	28	0	0	0	0	0	40	\$7,208
4.2		4	4	0	0	0	0	0	8	\$1,464
4.3		0	11	22	0	33	0	0	66	\$8,261
4.4		0	22	33	0	0	0	0	55	\$8,261
4.5		0	0	0	20	20	0	0	40	\$4,360
4.6		0	0	0	0	0	0	0	0	\$0
4.7		16	48	0	48	136	0	0	248	\$31,016
4.8	<b>SRF Deliverables:</b> - Identify right-of-way needs based on proposed construction. - Title Reports, Parcel Exhibits, Legal Descriptions, Appraisals, Review Appraisals, Completed acquisition/ relocation files for audit. - Prepare offer packages.	2	0	0	6	0	0	0	8	\$1,070
	<b>SUBTOTAL - TASK 4</b>	34	113	55	74	189	0	0	485	\$61,640

SRF Consulting Group, Inc.  
Client: City of Maple Grove  
Project: 610 Extension Final Design

Work Tasks and Person-Hour Estimates



TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROJ.	PROJ.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
5.0	<p><b>Civil Final Design Assumptions:</b></p> <ul style="list-style-type: none"><li>- All work shall comply with applicable MnDOT requirements, MnDOT computer Aided Drafting and Design (CADD) standards, Technical Memoranda, and any other applicable design standards.</li><li>- Design work will be completed in the MicroStation drafting platform.</li><li>- Assumes design of permanent construction to closely match what is shown in the current developed Preliminary layout to be submitted for staff approval.</li><li>- Permanent and temporary right-of-way easements will be required to complete the project work.</li><li>- Assumes ultimate design of Lawndale from 610 to 105th but does not include roundabout design at 105th/105th intersection.</li><li>- Submittals shall be in the digital PDF format. Final plan submittal shall include wet signed mylar title sheet.</li><li>- A proposed surface model is not included in this scope and no utility clash detection</li><li>- This scope does not include any public utility design work and is limited to adjustments of existing facilities, other than work specified below on Lawndale North. Public utility design work along Lawndale North assumes 'simple' design for water and sanitary sewer piping to stub for future development. Assumes no connection to Lawndale South. Does include Department of Health Permit (See Permits Task).</li><li>- City of Maple Grove, State Aid, Fed Aid, Hennepin County, &amp; MnDOT will review plans and provide comments to plans with redline PDF's and/or tabular spreadsheet. SRF will provide comment responses.</li><li>- SRF will develop technical special provisions and project manual including bid forms.</li><li>- Assumes 610 to be bituminous pavement west of I94 and concrete pavement east of I94.</li><li>- Full roadway closure of Lawndale and crossovers on CSAH 30.</li><li>- No extension of existing box culvert on CSAH 30 will be required.</li><li>- Geotechnical information required for design will be provided by subconsultant.</li><li>- Assumes no coordination with any developers is needed.</li><li>- No landscaping other than turf establishment.</li><li>- No retaining wall design is included aside from extensions of wing walls (see structures)</li><li>- No noise wall design is included.</li></ul>									
5.1	<p><b>Client Deliverables:</b></p> <ul style="list-style-type: none"><li>- Review and comment on draft and final plans (including redlines and tabular spreadsheet)</li><li>- Review and comment on draft and final cost estimates</li><li>- Review and comment on draft and final special provisions</li><li>- City will provide water/sewer mapping and best guesses will be made for approximate stub locations for water &amp; sanitary for future developments on Lawndale North.</li><li>- Develop pavement design and confirm typical sections with client based on the following:<ul style="list-style-type: none"><li>- 2020 existing and 2040 Project AADT (Cumulative Design ESAL's)</li><li>- R-Value recommendations from Geotechnical Report</li><li>- Approved roadway, trail, &amp; sidewalk alignment and geometrics</li><li>- Subsurface soil correction recommendations and city requirements</li><li>- Coordination with I94 DB project</li></ul></li></ul>	6	0	24	0	32	0	0	62	\$7,628

## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates



TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
5.2	60% Civil Design Incorporate the staff approved geometric layout design into the construction plans. Plans will include permanent finished surface cross sections, construction limits for use in establishing right of way needs, and the following sheets: - Title sheet - General layout - Statement of estimate quantities (format only) - Standard plates and index of tabulation - Construction and soils notes - Earthwork summary and tabulation (format only) - In place utility tabulations - Tabulations (format only) - Standard plan sheets - Bridge approach panel sheets - Typical sections - Staging and traffic control plans (format only) - Alignment plans and tabulations - Topography and utility plans - Removal plans - Construction plans - Intersection details (format only) - Profiles - Erosion control and turf establishment plans (format only) - Cross sections 60% Cost Estimate Prepare a one page construction cost estimate. 60% Comment Resolution Meeting Meeting with client to discuss comments provided on the 60% submittal 90% Civil Design Refine plans, incorporate 60% comments, and provide draft final quantities. Statement of estimate quantities - Earthwork tabulation and summary - Soils and Construction Notes - Tabulations - Staging and traffic control plans (hours included below, coordination needed) - Intersection details - Concrete Jointing - Drainage Plans, Profiles, and Tabulations (hours included below, coordination needed) - Permanent Turf Establishment plan - Temporary & Permanent Erosion and Sediment Control Plans (hours included below, coordination needed) - SWPPP plans (hours included below) - Contour Plans - Signing and Striping Plans (hours included below, coordination needed) - Water & Sewer Plans 90% Cost Estimate Prepare draft final cost estimate. 90% Civil Specifications Prepare draft final construction specifications - Spec Book 90% Comment Resolution Meeting Meeting with client to discuss comments provided on the 90% submittal 95% Civil Design - MnDOT Resubmittal Refine plans, incorporate 90% comments, and resubmit to MnDOT for backcheck. 100% Civil Design Refine plans, incorporate 95% comments, and provide final signed plans.	80	0	500	0	1600	400	0	2580	\$293,700
5.3		4	0	20	0	40	0	0	64	\$7,540
5.4		4	0	4	0	4	0	0	12	\$1,704
5.5		60	0	320	0	1200	280	0	1860	\$210,800
5.6		4	0	40	0	80	0	0	124	\$14,320
5.7		40	0	80	0	60	0	0	180	\$24,420
5.8		4	0	4	0	4	0	0	12	\$1,704
5.9		4	0	40	0	100	16	0	160	\$18,268
5.10		12	0	80	0	240	24	0	356	\$40,472

SRF CONSULTING GROUP, INC.

ENGINEERS AND PLANNERS

14297\_610ExtensionScope.docx  
MINNEAPOLIS, MN

## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates



P14297.PP

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
5.11	100% Cost Estimate	4	0	24	0	40	0	0	68	\$8,072
	Prepare final cost estimate.									
5.12	100% Civil Specifications	20	0	100	0	20	0	0	140	\$19,160
	Prepare final signed construction specifications.									
5.13	Central Office Comment Resolution Meeting	6	0	40	0	80	0	0	126	\$14,700
	Meeting with MnDOT Central Office to discuss final plan comments and address Central Office Comments									
5.14	QA/QC	20	0	100	0	140	40	0	300	\$36,240
	SRF's QMP will be implemented at 60%, 95%, and 100% submittals.									
5.15	Provide City with final 11"x 17" plan sheets electronically in .pdf format. Provide special provisions electronically in Microsoft Word format. Provide Engineer's Opinion of Probable Construction Cost in Microsoft Excel Format.	4	0	12	0	24	0	0	40	\$4,828
	Sanitary and Watermain Design									
5.16	Basic sanitary and watermain design for Lawndale North to bring public utilities to future development sites along the north side of 610. Submit to city for review and address comments. Incorporate plans and city standards into the bid plans including special provisions.	8	0	60	0	120	32	0	220	\$25,636
	Civil Project Closeout									
5.17	Compile design and quantity calculations and other relevant project information for scanning, filing, and archiving.	4	0	16	0	24	0	16	60	\$6,368
	SRF Deliverables:									
	- 60% draft plans, 95% draft plans, 100% final signed plans									
	- Draft and final specifications for construction									
	- Draft and final construction cost estimate (MS Excel and PDF)									
	- Advertisement for bid									
	- MN Department of Health Permit									
	<b>SUBTOTAL - TASK 5</b>	<b>284</b>	<b>0</b>	<b>1464</b>	<b>0</b>	<b>3808</b>	<b>792</b>	<b>16</b>	<b>6364</b>	<b>\$735,360</b>



## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates



TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROJ.	PROJ.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
6.0	<b>Water Resource Final Design</b> <b>Assumptions:</b> - The project will require an NPDES permit - Atlas 1.4 rainfall data will be used - Permanent BMPs will be required and BMPs will be designed to meet NPDES and EOWMC requirements. EOWMC requirements include runoff rate control, infiltration/abstraction of 1.1" of runoff from new impervious areas, and no net increase in total phosphorus or total suspended solids. - MIDs used to show TP and TSS loading - Culverts will not require risk assessment - State Aid Submittal Required - MnDOT Coordination Required									
	<b>Client Deliverables:</b> Review and comment on drainage plans and special provisions Review and comment of drainage permit applications Review and approve wetland permit application									
6.1	<b>60% drainage design</b>	16	0	102	0	428	64	0	610	\$66,242
	6.1.1 Perform 60% CS spacing to meet State Aid Criteria and MnDOT Trunk Highway criteria	0	0	20	0	80	0	0	100	\$10,900
	6.1.2 Design special ditch grade and centerline culverts	0	0	12	0	80	0	0	92	\$9,836
	6.1.3 Review staging plans and define temporary drainage needs	0	0	12	0	60	20	0	92	\$10,136
	6.1.4 Perform 60% grading and modeling of BMPs	4	0	4	0	12	0	0	16	\$1,768
	6.1.5 Quantities and Estimate	4	0	20	0	80	20	0	124	\$14,020
	6.1.6 Assemble 60% drainage plans to include: storm sewer design, trunkline profiles, drainage details, sample (blank) tabulation, water resources notes, and draft storm water pollution prevention plan.	2	0	4	0	4	0	0	10	\$1,324
	6.1.7	8	0	24	0	80	16	0	128	\$14,840
	6.1.8 Erosion Control and Turf Establishment Plans	2	0	6	0	32	8	0	48	\$5,418
6.2	<b>90% drainage design and specifications</b>	20	0	86	0	238	62	0	406	\$47,088
	6.2.1 Incorporate 60% comments	4	0	16	0	32	0	0	52	\$6,184
	6.2.2 Complete CS Spacing	0	0	12	0	24	0	0	36	\$4,068
	6.2.3 Complete storm sewer and culvert design	0	0	12	0	30	0	0	42	\$4,686
	6.2.4 Complete BMP grading, modeling and design.	4	0	10	0	40	16	0	70	\$8,098
	6.2.5 Temporary drainage and riprap design	0	0	4	0	12	0	0	16	\$1,768
	6.2.6 Prepare 90% drainage plans to include: storm sewer and culvert design, drainage profiles, drainage details, drainage tabulations tabulation, water resources notes, and draft storm water pollution prevention plan.	4	0	16	0	60	20	0	100	\$11,428
	6.2.7 Erosion Control and Turf Establishment Plans	2	0	6	0	16	8	0	32	\$3,770
	6.2.8 Quantities and Estimate	0	0	4	0	20	18	0	42	\$4,716
	6.2.9 Prepare draft drainage related special provisions (Division 5)	6	0	6	0	4	0	0	16	\$2,350

## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates



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TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR ASSOC.	ASSOCIATE	SR PROF	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
6.3	100% drainage design and specifications	12	0	26	18	98	0	0	154	\$17,902
	6.3.1 Incorporate 90% comments and 95% comments from Central Office review	4	0	4	10	10	0	0	28	\$3,472
	6.3.2 Provide final signed plans and final specifications	4	0	12	0	56	0	0	72	\$8,124
	Assemble final drainage calculations including: existing and proposed drainage area map, stormwater BMP design computations, CS spacing and storm sewer design computations, culvert stormwater design computations.	4	0	8	8	20	0	0	40	\$4,804
	6.3.3 design computations.									
	6.3.4 Provide final quantities	0	0	2	0	12	0	0	14	\$1,502
6.4	QA/QC Implemented at each submittal, 60%, 90%, and 100%	12	12	12	0	0	0	0	36	\$5,988
	SRE Deliverables:									
	60% draft plans, 95% draft plans, 100% final signed plans									
	Draft and final specifications for construction									
	<b>SUBTOTAL - TASK 6</b>	<b>60</b>	<b>12</b>	<b>226</b>	<b>18</b>	<b>764</b>	<b>126</b>	<b>0</b>	<b>1206</b>	<b>\$139,200</b>

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Work Tasks and Person-Hour Estimates

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE



- 7.0
- Structures Design
- Assumptions:
- Two bridges to be designed:
    - BR 27R09 - WB TH 610 EXT over TH 610
    - BR 27W13 - WB & EB TH 610 EXT over I-94
  - One bridge is assumed not to be required:
    - BR 27W14 - EB TH 610 EXT over I-94
  - WB has been widened making inclusion of EB on a single bridge (BR No. 27W13) likely more economical.
  - Two retaining walls to be designed:
    - Assumed to be MnDOT Standard CIP walls or MSE walls
    - RW01 - WB TH 610 EXT west of BR 27R09
      - approx. 225' long w/ 20' max. exposed face
    - RW02 - WB TH 610 EXT east of BR 27R09
      - approx. 350' long w/ 20' max. exposed face
  - Bridges & Walls to be owned and maintained by MnDOT
  - Bridge aesthetics to follow MnDOT established TH 610 corridor-specific architectural guidelines.
  - Bridge preliminary plans to be developed based on MnDOT approved geometric layout.
  - Bridge type studies (27R09, 27W13 & 27W14) were completed in 2013. Roadway geometrics have changed and bridge type studies will require updating and review by MnDOT.
  - Bridge 30% preliminary plans (27R09, 27W13 & 27W14) were completed in 2013. Roadway geometrics have changed and bridge 30% preliminary plans will require updating and review by MnDOT.
  - BRIDGE & WALL COORDINATION:
    - Coordination between SRF, MnDOT & City of Maple Grove
  - BRIDGE TYPE STUDY:
    - SRF revisit and update the 2013 studies to reflect updated roadway geometrics and MnDOT bridge standard updates. Stakeholder involvement may be needed during this phase of the project. Updated studies will be submitted to STATE as part of the 30% Preliminary Plan submittal.
  - REVIEW FOUNDATION RECOMMENDATIONS:
    - Borings and the Foundation Analysis and Design Recommendations (FADR) report will be prepared by others. SRF will review and coordinate as needed.

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**Work Tasks and Person-Hour Estimates**

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- **PRELIMINARY BRIDGE DESIGN SCOPE:**  
SRF revisit and update the 2013 30% preliminary bridge plans to reflect updated roadway geometrics and MnDOT bridge standard updates.  
The 30% Preliminary Plan must include, at a minimum:
  - General Plan and Elevation Sheet(s)
    - o Profile of Finished Bridge Deck
    - o Design Data
    - o Proposed Type of Structure Block
    - o Projected Traffic Volumes
    - o Title Block
  - Proposed alignment, profile grades, structure type, and substructure location
  - Vertical clearance calculations
  - Staging concept, including substructure impacts
  - Electronic MicroStation and Geopak files (coordinate correct) to support design
  - Structure Type Study report, concept sketches, and preliminary cost estimates

SRF will submit two copies of the 30% Preliminary Plans to STATE for review. STATE will return the 30% Preliminary Plans with red-lined comments within 20 working days. SRF will incorporate agreed upon revisions. No Aesthetic Design Review submittal will be required.

SRF will submit two copies of the Final Preliminary Plans and preliminary cost estimates to STATE for review. STATE will return the Final Preliminary Plans with red-lined comments within 20 working days. If necessary, SRF will incorporate STATE's comments/revisions and re-submit the Final Preliminary Plans to STATE.

SRF will submit appropriate electronic files with the Final Preliminary Plans, and a Geopak (GPK) file containing chains, profiles, and shots of other surveyed features in the project area for each bridge.
- **30% BRIDGE DESIGN SCOPE:**  
The 30% Plan review provides STATE an early review of the final plan preparation for conformance with the approved Preliminary Plan, aesthetic guidelines, and key design specifications. The intent of this review is to identify design discrepancies at an early stage and avoid major plan modifications resulting from future reviews. Plan at a minimum will include:
  - General Plan & Elevation Sheet(s)
  - Framing Plan
  - Bridge Layout Sheet(s)
  - Abutment Layout Sheet(s)
  - Architectural or Special Detail Sheet(s)
  - Bridge Survey Sheet(s)

- **60% BRIDGE DESIGN SCOPE:**  
The intent of the 60% Plan Review is to verify SRF's progress toward plan completion and evaluate against project and contract timelines. The 60% Plan submittal will include two full sets of in-progress plan sheets, working copies of design files (MicroStation, Geopak), and Draft Unique Special Provisions. Include substructure geometric design details. Include an electronic copy of plan and calculation check prints, along with the comment log or other process documenting resolution of all STATE plan review comments from the 30% review. STATE's Bridge Office will return 60% Plan review comments within 30 working days. SRF will be allowed to continue with design during this submittal.

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- 95% BRIDGE DESIGN SCOPE:  
The intent of the 95% Plan Review is for STATE to verify that the plan is acceptable for the State Bridge Engineer's signature. The 95% Plan should be complete in all areas to the extent that it can be certified by SRF, although a certification signature is not required until after this review has been completed. SRF will submit the 95% Plan to STATE with an electronic copy of plan and calculation check prints and comment log or other process documenting resolution of all STATE plan review comments from the 60% review. STATE's Bridge Office will return 95% Plan review comments within 20 working days. SRF will also submit finalized Unique Special Provisions (one electronic copy) with the 95% Plan submittal.

- FINAL BRIDGE DESIGN SCOPE:  
Upon incorporation of STATE'S 95% Plan comments, SRF will submit the Certified Final Bridge Plan to STATE. Final Certified Plans must be submitted for the State Bridge Engineer's signature no later than on a date to be determined by the STATE.

- SPECIAL PROVISIONS, DIVISION SB:  
SRF will develop special provisions for the construction of the bridge structures for use by the contractor based on MnDOT standard boiler plate special provision sections. Special provision will be prepared and submitted for review at the 95% and final design stages.

- BRIDGE COST ESTIMATES:  
Bridge cost estimates will be prepared for the County at the 30%, 95% and final plan development stages.

- BRIDGE LOAD RATING:  
SRF will complete a bridge load rating for the new structure(s) and complete and submit the MnDOT load rating form and input file to the STATE.

- BRIDGE & RETAINING WALL QA/QC:  
Quality reviews consistent with SRF's quality management plan.

- BR 27R09  
- WB TH 610 EXT flyover bridge assume to be a 2-span to 4-span prestressed concrete beam bridge with median pier(s) and semi-integral or parapet abutments.  
- Wingwalls will extend to the SW and NE bridge approaches and end in new embankment. Assume approx. 24' of wingwall length at each corner.  
- Wingwalls will extend to the SE and NW bridge approaches and tie into retaining walls RW01 and RW02.

- BR 27W13 & 27W14  
- A single bridge 27W13 is assumed to carry WB & EB TH 610 EXT over I-94 and is assumed to be 2-span prestressed concrete beam bridge with a median pier and semi-integral or parapet abutments.  
- Wingwalls will extend to the bridge approaches and end in new embankment. Assume approx. 24' of wingwall length at each corner.  
- BR 27W13 will carry a multi-use trail adjacent to EB traffic lanes.

Client Deliverables:  
- Coordination & Plan Reviews

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TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
7.1	BR No. 27R09 Design - WB TH 610 EXT Flyover									
7.1.1	Geotechnical Coordination:	0	2	0	4	0	4	0	10	\$1,284
7.1.1.2	Bridge Type Study	0	18	0	40	70	0	0	128	\$14,978
7.1.1.2	Preliminary Design & Plans	0	6	20	30	40	108	0	204	\$24,030
	- 30% Preliminary Plan									
	- Final Preliminary Plan									
7.1.1.3	30% Design & Plans	0	4	12	20	40	60	0	136	\$15,800
7.1.1.4	60% Design & Plans	0	16	40	60	100	160	0	376	\$44,216
7.1.1.5	95% Design & Plans	0	16	40	60	124	160	0	400	\$46,688
7.1.1.6	Final Certified Plans	0	8	16	20	40	80	0	164	\$19,396
7.1.1.7	Load Rating	0	4	8	0	10	0	0	22	\$2,798
7.1.1.8	Cost Estimates	0	8	8	0	12	0	0	28	\$3,708
	- 30%, 95% and Final									
7.2	BR No. 27W13 Design - WB TH 610 EXT over I-94									
7.2.1	Geotechnical Coordination:	0	2	0	4	0	4	0	10	\$1,284
7.2.2	Bridge Type Study	0	16	0	20	50	0	0	86	\$10,266
7.2.2	Preliminary Design & Plans	0	6	16	20	60	104	0	206	\$23,936
	- 30% Preliminary Plan									
	- Final Preliminary Plan									
7.2.3	30% Design & Plans	0	4	12	20	40	80	0	156	\$18,160
7.2.4	60% Design & Plans	0	16	30	40	112	150	0	348	\$40,642
7.2.5	95% Design & Plans	0	16	20	30	140	170	0	376	\$43,406
7.2.6	Final Certified Plans	0	8	16	16	40	60	0	140	\$16,576
7.2.7	Load Rating	0	4	8	0	10	0	0	22	\$2,798
7.2.8	Cost Estimates	0	8	8	0	12	0	0	28	\$3,708
	- 30%, 95% and Final									
7.3	BR No. 27W14 Design - EB TH 610 EXT over I-94									
	- EB TH 610 EXT. assumed to be included in BR No. 27W13, a single, wide bridge will carry WB and EB traffic with a center median (no bridge separation).									
	- See Optional Task OT7.3 below for added scope if a separate bridge BR No. 27W14 is required by MnDOT or others.									
7.4	Retaining Wall Design									
7.4.1	60% Design & Plans	0	8	0	24	0	94	0	126	\$15,260
7.4.1	95% Design & Plans	0	8	0	24	0	94	0	126	\$15,260
7.4.1	Final Certified Plans	0	8	0	20	0	40	0	68	\$8,428
7.3.8	Cost Estimates	0	8	0	8	0	0	0	16	\$2,328
	- 60%, 95% and Final									

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7.5	Special Provisions - Division SB	0	12	24	0	0	0	0	36	\$5,304
	SRF Deliverables:									
	- BR 27R09:									
	- Bridge Type Study Memo									
	- Plans - Prelim, 30%, 60%, 95% & Final									
	- Load Rating									
	- Estimate - 30%, 95% & Final									
	- BR 27W13:									
	- Bridge Type Study Memo (Includes BR 27W14)									
	- Plans - Prelim, 30%, 60%, 95% & Final									
	- Load Rating									
	- Estimate - 30%, 95% & Final									
	- BR 27W14: Assumed Not Required									
	- Retaining Walls:									
	- Plans & Estimate - 60%, 95% & Final									
	- Special Provision Division SB									
	<b>SUBTOTAL - TASK 7</b>	<b>0</b>	<b>208</b>	<b>278</b>	<b>460</b>	<b>900</b>	<b>1368</b>	<b>0</b>	<b>3212</b>	<b>\$380,254</b>

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## 8.0 Signal Design / Traffic Design

**Assumptions:**  
Project will not require construction temporary signals to facilitate construction.  
Assumes two full permanent traffic signals at Highway 610 Extension/Lawndale Ln and at Highway 610 Extension/CSAH 30 and one green tee permanent traffic signal at Highway 610 Extension/IH 94 EB Ramp. Both full signals are assumed to be designed with Hennepin County traffic signal design standards and will include fiber interconnect and the green tee signal will be designed to MnDOT standards.

Due to Federal Aid funding, all signals will require the completion of a MnDOT ITS Checklist form. Stakeholder agencies will provide direction on which pavement marking material preference and signing standards to use for each particular roadway.

A Transportation Management Plan (TMP) will be required to meet the provisions of the Minnesota Work Zone Safety and Mobility Policy (Technical Memorandum No. 17-10-103), including the TMP Worksheet document. We are assuming the TMP will be a Basic TMP without traffic analysis or simulation.

Assumes two MnDOT overhead (OH) sign structures will be needed along I-94 westbound for properly signing the new freeway exit to MnDOT standards. It is assumed these OH sign structures will be design to Design D standards.

Assumes two major stages of traffic control with full traffic at all times along TH 610 and I-94.

Assumes proposed signing and pavement markings can appear on the same plan sheets.

## Client Deliverables:

Comments on draft plans.

Comments on draft TMP.

8.1	60% signal and interconnect design	30	0	40	0	0	120	0	190	\$25,180
8.2	90% & 95% signal and interconnect design	16	0	24	0	0	60	0	100	\$13,312
8.3	100% signal and interconnect design	8	0	16	0	0	24	0	48	\$6,480
8.4	60% signing and pavement marking design	25	0	35	0	100	0	0	160	\$19,705
8.5	90% & 95% signing and pavement marking design	10	0	10	0	55	0	0	75	\$8,895
8.6	100% signing and pavement marking design	5	0	5	0	20	0	0	30	\$3,675
8.7	Transportation Management Plan	10	0	20	0	0	0	0	30	\$4,560
8.8	60% work zone traffic control/detour plans	10	0	10	0	90	0	0	110	\$12,500
8.9	90% & 95% work zone traffic control/detour plans	5	0	5	0	45	0	0	55	\$6,250
8.10	100% work zone traffic control/detour plans	5	0	5	0	10	0	0	20	\$2,645

## SRF Deliverables:

60% draft plans, 95% draft plans, 100% final signed plans

Draft and final Division SS and Division ST specifications for construction

Transportation Management Plan

MnDOT ITS Checklist for two signal systems

SUBTOTAL - TASK 8

\$103,202



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9.0	<b>Lighting Design</b> <b>Assumptions:</b> Utilize standard MnDOT lighting equipment/methods Assume no lighting analysis required, typical MnDOT spacing and placement Underpass lighting required on bridge over I-94 Lighting required on flyover bridge EB 610 Lighting on terminal signals by signals Lighting to be installed on proposed EB & WB TH610 roadway from Maple Grove Parkway to the west terminus of the interchange at I-94 and lighting on new I-94 interchange loop and ramp. Only lighting designed/impacted will be MnDOT style lighting. Use existing service cabinets & circuits, need to examine and coordinate configurations to verify if feasible. If not, new service cabinet will be required.									
	<b>Client Deliverables:</b> As-builts of existing I-94 & 610 lighting									
9.1	60% lighting design Preliminary lighting layout, cabling/conduit, lighting details and source of power/service cabinet/voltage drop calculations. Preliminary placeholders for tabulation, stationing and wiring diagram. Bridge coordination for underpass lighting and flyover bridge lighting. QA/QC and task management	0	32	0	0	0	72	0	104	\$14,128
9.2	90% & 95% lighting design Review and respond to 60% comments. Update lighting layout, cabling/conduit, lighting details, tabulation, stationing and wiring diagram. Develop preliminary Div. SL specs. QA/QC and task management	0	24	0	0	0	44	0	68	\$9,416
9.3	100% lighting design Review and respond to 90% & 95% comments. Finalize lighting layout, cabling/conduit, lighting details, tabulation, stationing, wiring diagram and Div. SL specs. QA/QC and task management	0	16	0	0	0	32	0	48	\$6,592
	<b>SRF Deliverables:</b> - 60% draft plans, 95% final signed plans - 60% engineers estimate, 95% engineers estimate, 100% final estimate - Draft and final specifications for construction									
	<b>SUBTOTAL - TASK 9</b>	0	72	0	0	0	148	0	220	\$30,136

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10.0	<b>Utility Coordination</b> <b>Assumptions:</b> - Utility coordination efforts included in this scope will conform to MnDOT's present utility coordination process detailed in in the MnDOT Utilities Manual (August 2016). - Utility Coordination Process Steps 10, 11, 12 not included in this scope - Utility mapping will be quality level D; No SUE mapping included in this scope - Coordination effort assumes no transmission pole relocation is necessary - No private utility design  <b>Client Deliverables:</b> - Provide meeting space and attend utility coordination meetings - Complete Utility Coordination Process Steps 10, 11, and 12 as applicable	0	0	4	0	16	16	0	36	\$4,068
10.1	Step 1 - Utility Identification Perform Gopher State Once Call, receive and map utility data, and conduct field reviews if necessary.	0	0	8	0	16	0	0	24	\$2,712
10.2	Step 2 - Utility Information Meeting Upon completion of 60% plans, a PDF utility coordination letter and PDF version of relevant draft plans will be emailed to applicable utility owners. A utility information meeting will be held within 2-3 weeks after letters are sent out. Utility information meeting will be held to inform utility owners about the project and confirm location of existing and future utilities. Assumes one hour meeting with up to two SRF staff members. Meeting minutes will be prepared and distributed.	0	0	12	0	24	0	0	36	\$4,068
10.3	Step 3 - Utility Information Review Utility plans and tabulations will be revised based on comments received from utility owners. Plans will be reviewed for utility conflicts and tabulations updated to note "leave as is", "adjust", or "relocate".	0	0	8	0	20	0	0	28	\$3,124
10.4	Step 4 - Utility Design Meeting A PDF utility coordination letter and PDF version of relevant draft plans (approximately 75% complete) will be emailed to applicable utility owners. A utility design meeting will be held within 2-3 weeks after letters are sent out. Utility design meeting will focus on finding solutions to utility conflicts. Assumes one hour meeting with up to two SRF staff members. Meeting minutes will be prepared and distributed.	0	0	12	0	6	0	0	18	\$2,214
10.5	Step 5 - Request for Utility Relocation Plans A PDF utility coordination letter requesting relocation plans will be emailed to applicable utility owners.	0	0	40	0	12	0	0	52	\$6,556
10.6	Step 6 - Utility Coordination Follow Up Task included for additional follow up that may be required if utility owners are unresponsive or require additional coordination efforts.	0	0	0	0	0	0	0	0	\$0
10.7	Step 7 - Utility Design Change Meeting Assumes no major changes to the design will occur following the utility design meeting and that a Utility Design Change Meeting will not be required.	0	0	0	0	2	0	0	2	\$206
10.8	Step 8 - 90 Day Gopher State One Call A 90 day Gopher State Once Call will be submitted for final utility verification within 90 days of final plan submittal.	0	0	8	0	16	0	0	24	\$2,712
10.9	Step 9 - Utility Relocation Plan Review Review utility relocation plans and schedule to ensure project conflicts are resolved and meet Utility Accommodation Policy.	0	0	0	0	0	0	0	0	\$0
	<b>SRF Deliverables:</b> - Completion of MnDOT Utility Coordination Process Steps 1 - 9  <b>SUBTOTAL - TASK 10</b>	0	0	92	0	112	16	0	220	\$25,660

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11.0	ITS Design Assumptions: - The following existing MnDOT TMS devices will need to be relocated by this project as they will be impacted by construction: Fiber optic cable along I-94 and TH 610, one CCTV/NID site along TH 610 just east of I-94, and ramp meters on ramp TH 610 EB to TH 94 EB.  - The following proposed MnDOT TMS devices will be added with this project: One CCTV/NID site, ramp detection for new ramps, and the associate power and communications infrastructure.  - No new ramp meters will be required as the new ramps will not have adequate traffic volumes for ramp metering.  - See Task 8 (Signal Design / Traffic Design) for Hennepin County fiber  Client Deliverables: - MnDOT TMS as-builts									
11.1	60% ITS Design Plans (construction plans and index of detail drawings) and estimate	8	0	0	0	20	32	0	60	\$7,116
11.2	90% & 95% ITS Design Incorporation of 60% comments, plans (construction plans, detail drawings, and communication schematics), Division SZ special provisions, ITS Systems Engineering Checklist, and estimate	24	0	0	0	60	76	0	160	\$19,288
11.3	100% ITS Design Incorporation of 90% & 95% comments, signed plans (construction plans, detail drawings, and communication schematics), Division SZ special provisions, ITS Systems Engineering Checklist, and estimate  SRF Deliverables: 60% Submittal (plans and estimate) 90% & 95% Submittal (plans, special provisions, ITS Systems Engineering Checklist, and estimate) 100% Submittal (signed plans, special provisions, ITS Systems Engineering Checklist, and estimate)	8	0	0	0	8	8	0	24	\$3,264
	SUBTOTAL - TASK 11	40	0	0	88	116	0	0	244	\$29,668
12.0	Bidding Administration Assumptions: - City will open the bids, SRF to provide the following services:									
12.1	Prepare advertisement for bids and submit to required publications	1	0	1	0	0	2	0	4	\$529
12.2	Answer bidders questions. Includes written and oral responses.	2	0	4	0	0	6	0	12	\$1,530
12.3	Issue addenda if required. Assumes one addendum	1	0	4	0	0	12	0	17	\$1,988
12.4	Prepare Bid Result Tabulation	1	0	1	0	0	6	0	8	\$941
12.5	Prepare letter of recommendation to the City	0	0	1	0	0	2	0	3	\$339
12.6	Prepare Notice of Award and Contract Agreement. Forward these documents to the Contractor.	1	0	0	0	0	4	0	5	\$602
	SRF Deliverables: Advertisement for bids, addenda and notice of contract agreement									
	SUBTOTAL - TASK 12	6	0	11	0	32	0	0	49	\$5,899

SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

Work Tasks and Person-Hour Estimates



P14297.PP

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR_ASSOC.	ASSOCIATE	SR_PROJ	PROJ.	TECHNICAL	CLERICAL	TOTALS	EST.FEE
13.0	<b>Geotechnical Oversight</b> Geotechnical services will be provided by sub-consultant, AET. Hours shown here are for SRF oversight and quality assurance. AET's costs are shown as a direct expense at the bottom of this spreadsheet.  Assumptions: - AET to provide geotechnical services. - See AET's scope of services proposal for assumptions.  Client Deliverables: - Review and comment on soil boring layout, MDR and FADR.  13.1 Provide oversight and project management for design activities by AET.	0	0	16	8	8	0	0	32	\$3,872
	<b>SRF Deliverables:</b> - Soil Boring layout - Draft and Final Materials Design Report (MDR) - Draft and Final Foundation Analysis and Design Recommendations (FADR)									
	<b>SUBTOTAL - TASK 13</b>	0	0	16	8	8	0	0	32	\$3,872
14.0	<b>Additional Traffic Studies</b> <b>Assumptions:</b> Travel demand forecasts will be developed using Hennepin's County Travel Demand Model. Forecasts developed as part of the Maple Grove Transportation Plan will be used as a base. Additional detail will be provided for the interchange and I-94 to satisfy the operational analysis requirements. Assumes no additional validation is required.  Client Deliverables: NA  14.1 Develop Year of Opening Forecasts 14.2 Conduct Year of Opening Synchro/SimTraffic Analysis 14.3 Develop Conceptual Signing Plan to Satisfy Requirements of Interstate Access Modification Request. 14.4 Conduct Safety Analysis to Satisfy Requirements of IAMR	2	0	8	8	16	0	0	34	\$4,012
		0	0	4	8	16	0	0	28	\$3,100
		0	0	4	0	16	0	0	20	\$2,180
		2	0	8	8	32	0	0	50	\$5,660
	<b>SRF Deliverables:</b> Electronic files of all traffic counts and models.									
	<b>SUBTOTAL - TASK 14</b>	4	0	24	24	80	0	0	132	\$14,952

## SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

## Work Tasks and Person-Hour Estimates

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROE	PROE.	TECHNICAL	CLERICAL	TOTALS	EST. FEE



## 15.0 Permits and Miscellaneous Assistance

- Department of Health Permit required (Over 100' of new Watermain)
- Section 404 authorization by USACE under Transportation Regional General Permit (RGP)
- No USACE or LGU permit fees will be required for Section 404/WCA joint permit
- No Minnesota Routine Assessment Method (MinRAM) analysis needed.
- Wetland impacts will be mitigated by acquisition of private bank credits by City of Maple Grove.
- WCA LGU will distribute the permit application to members of the Technical Evaluation Panel (TEP).
- One revision to Section 404/WCA joint application in response to agency comments.
- One pre-application meeting with USACE and members of the TEP.
- The project will require an NPDES permit

## Client Deliverables:

- Review and comment of drainage permit applications
- Review and approve wetland permit application
- Direction and Review of Graphics pertaining to "Miscellaneous Documents & Graphics Assistance"

15.1	Prepare and submit MN Dept of Health Permit on behalf of the City	0	0	4	0	8	0	2	14	\$1,482
15.2	Drainage permitting and coordination (NPDES, Watershed, MnDOT, MPARS)	14	0	45	12	62	4	2	139	\$17,009
15.2.1	Prepare application, cover letter, drainage computations/model output and other items required by EOWMC for review.	4	0	16	0	40	4	2	66	\$7,606
15.2.2	Coordination with EOWMC. Assumes 1 meeting, 2 hours long, two staff members, preparation time and meeting minutes.	4	0	8	0	4	0	0	16	\$2,236
15.2.3	Prepare NPDES Permit application. The SWPPP will be integrated into the construction plan.	0	0	2	0	6	0	0	8	\$884
15.2.4	Support USACE Joint Permit	2	0	4	0	4	0	0	10	\$1,324
15.2.5	MnDOT drainage coordination	2	0	8	0	4	0	0	14	\$1,856
15.2.6	State Aid Submittal	1	0	2	0	4	0	0	7	\$868
15.2.7	MPARS Permit	1	0	5	12	0	0	0	18	\$2,235
15.3	Wetland permitting (Section 404, WCA)	0	6	68	0	52	10	0	136	\$16,636
15.3.1	Prepare Section 404/WCA joint permit application form, including attendance at one pre-application meeting with USACE and TEP.	0	4	40	0	40	10	0	94	\$11,324
15.3.2	Wetland Mitigation	0	2	20	0	8	0	0	30	\$3,836
	Locate suitable wetland mitigation credits									
	Obtain Purchase Agreement(s) from wetland mitigation bank manager(s).									
	Obtain Bill of Sale(s) of Wetland Banking Credits from wetland mitigation bank manager(s).									
15.3.3	General wetland permitting coordination with USACE and WCA LGU	0	0	8	0	4	0	0	12	\$1,476

SRF Consulting Group, Inc.  
Client: City of Maple Grove  
Project: 610 Extension Final Design

Work Tasks and Person-Hour Estimates



TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROJ.	PROJ.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
15.4	Miscellaneous Documents & Graphics Assistance Includes support materials for agency documents/agreements such as: Cost Share Graphics, Limited Use Permit, MOU's with City of Maple Grove and MnDOT and/or Hennepin County, Cooperative Agreement with MnDOT, Joint Power Agreement exhibits, Council material, (Preparation of a Feasibility Study is not included in this scope)	6	0	30	0	40	18	0	94	\$11,374
15.5	Section 4(f) Involvement Scope of work for NEPA included in preliminary design. Project will impact City parkland along Rush Creek, north of CSAH 30/proposed 610. Assumes Section 4(f) de minimis process. City to provide de minimis concurrence letter.	0	8	24	16	16	0	0	64	\$8,088
SUBTOTAL - TASK 15		20	14	171	28	178	32	4	447	\$54,589

- SRF Deliverables:
- MN Department of Health Permit
  - EOWMC Permit
  - National Pollutant Discharge Elimination System (NPDES) Permit
  - MPARS Permit
  - Section 404/WCA Joint Permit Application
  - Graphics Support for agreements with other agencies

SRF Consulting Group, Inc.

Client: City of Maple Grove

Project: 610 Extension Final Design

Work Tasks and Person-Hour Estimates



P14297.PP

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS	EST. FEE
	TOTAL ESTIMATED PERSON-HOURS	942	521	2798	811	6655	2792	20	14539	
	AVERAGE HOURLY BILLING RATES	\$190	\$176	\$133	\$115	\$103	\$118	\$63		\$1,752,256
	ESTIMATED LABOR AND OVERHEAD	\$178,980	\$91,696	\$372,134	\$93,265	\$685,465	\$329,456	\$1,260		\$450,483
	ESTIMATED DIRECT NONSALARY EXPENSES									
	TOTAL ESTIMATED FEE									\$2,202,739

ESTIMATE OF DIRECT NONSALARY EXPENSES:

MILEAGE: POSTAGE (ASSUME 14 CERTIFIED LETTERS AND 28 STANDARD MAILINGS)

TITLE REPORTS

MORTGAGE FEES - NOT INCLUDED

WEBSITE SERVICES

PERMITS:

Personal Vehicles  
Website Hosting  
Website Name  
MN DEPT OF HEALTH  
ECWMC Permit  
MPADS Permit  
NPDES Permit

SUBCONSULTANTS:

Evergreen Landservices (assumes 14 reviews)  
Patchin Messner Valuation Counselors - Appraisals (assume 14 partial acquisition reports)  
AET (Does not include Phase 1 ESA from Preliminary Scope)

ESTIMATED DIRECT NONSALARY EXPENSES

SUMMARY OF COSTS:

	PRINCIPAL	SR. ASSOC.	ASSOCIATE	SR. PROF.	PROF.	TECHNICAL	CLERICAL	TOTALS
1.0 Project Management	\$ 68,020	\$ -	\$ 35,644	\$ -	\$ 6,798	\$ 708	\$ -	\$ 111,170
2.0 Public Engagement & Website	\$ 760	\$ 15,488	\$ 1,197	\$ 11,500	\$ 6,386	\$ 1,770	\$ -	\$ 37,101
3.0 Topographic Survey & Data Collection	\$ 1,520	\$ 2,816	\$ 1,862	\$ 1,265	\$ 2,060	\$ 10,030	\$ -	\$ 19,553
4.0 Right of Way and Easement Documents and Acquisition	\$ 6,460	\$ 19,888	\$ 7,315	\$ 8,510	\$ 19,467	\$ -	\$ -	\$ 61,640
5.0 Civil Final Design	\$ 53,960	\$ -	\$ 194,712	\$ -	\$ 392,224	\$ 93,456	\$ 1,008	\$ 735,360
6.0 Water Resource Final Design	\$ 11,400	\$ 2,112	\$ 30,058	\$ 2,070	\$ 78,692	\$ 14,868	\$ -	\$ 139,200
7.0 Structures Design	\$ -	\$ 36,256	\$ 36,974	\$ 52,900	\$ 92,700	\$ 161,424	\$ -	\$ 380,254
8.0 Signal Design / Traffic Design	\$ 23,560	\$ -	\$ 22,610	\$ -	\$ 32,960	\$ 24,072	\$ -	\$ 103,202
9.0 Lighting Design	\$ -	\$ 12,672	\$ -	\$ -	\$ -	\$ 17,464	\$ -	\$ 30,136
10.0 Utility Coordination	\$ -	\$ -	\$ 12,236	\$ -	\$ 11,536	\$ 1,888	\$ -	\$ 25,660
11.0 ITS Design	\$ 7,800	\$ -	\$ -	\$ 10,120	\$ 11,948	\$ -	\$ -	\$ 29,668
12.0 Bidding Administration	\$ 1,140	\$ -	\$ 1,463	\$ -	\$ 3,296	\$ -	\$ -	\$ 5,899
13.0 Geotechnical Oversight	\$ -	\$ -	\$ 2,128	\$ 920	\$ 824	\$ -	\$ -	\$ 3,872
14.0 Additional Traffic Studies	\$ 760	\$ -	\$ 3,192	\$ 2,760	\$ 8,240	\$ -	\$ -	\$ 14,952
15.0 Permits and Miscellaneous Assistance	\$ 3,800	\$ 2,464	\$ 22,743	\$ 3,220	\$ 18,334	\$ 3,776	\$ 252	\$ 54,589
	\$ 178,980	\$ 91,696	\$ 372,134	\$ 93,265	\$ 685,465	\$ 329,456	\$ 1,260	\$ 0

SRF Consulting Group, Inc.  
Client: City of Maple Grove  
Project: 610 Extension Final Design

Work Tasks and Person-Hour Estimates



P14297.PP

TASK NO.	TASK DESCRIPTION	PRINCIPAL	SR ASSOC.	ASSOCIATE	SR PROJ	PROJ.	TECHNICAL	CLERICAL	TOTALS	EST LEE
OPTIONAL TASKS										
077.3	BR No. 27W14 Design - EB TH 610 EXT over I-94									
7.3.1	Geotechnical Coordination:	0	4	0	4	0	4	0	12	\$1,636
7.3.2	Bridge Type Study	0	0	0	0	0	0	0	0	\$0
	- Assumed to be included in study for BR 27W13									
7.3.2	Preliminary Design & Plans	0	6	25	36	70	120	0	257	\$29,891
	- 30% Preliminary Plan									
	- Final Preliminary Plan									
7.3.3	30% Design & Plans	0	4	16	30	54	64	0	168	\$19,396
7.3.4	60% Design & Plans	0	16	40	60	120	140	0	376	\$43,916
7.3.5	95% Design & Plans	0	16	40	60	140	160	0	416	\$48,336
7.3.6	Final Certified Plans	0	8	20	20	40	80	0	168	\$19,928
7.3.7	Load Rating	0	4	10	0	10	0	0	24	\$3,064
7.3.8	Cost Estimates	0	8	8	0	16	0	0	32	\$4,120
	- 30%, 95% and Final									





AMERICAN  
ENGINEERING  
TESTING, INC.

CONSULTANTS  
· ENVIRONMENTAL  
· GEOTECHNICAL  
· MATERIALS  
· FORENSICS

January 22, 2021

SRF Consulting Group  
3701 Wayzata Boulevard, Suite 100  
Minneapolis, MN 55416

Attn: Michael Turner  
mturner@srfconsulting.com

Re: Geotechnical and Services  
TH610  
Maple Grove, Minnesota  
AET Proposal No. 27-20075

Dear Mr. Turner:

We appreciate the opportunity to provide this proposal for geotechnical services for TH 610. We have prepared this proposal based on our communications with SRF staff and would be happy to modify the scope of services included if requested.

**Project Information:**

SRF is collaborating with the City of Maple Grove to design a new interchange on Interstate 94 south of TH 610. There will be an on-ramp to east bound TH 610 and an off-ramp from westbound TH610 connected with the new interchange. One bridge over TH 610 will be necessary for the westbound TH610 off-ramp.

There are 5 possible infiltration pond locations throughout the site that do not currently exist.

**Geotechnical Scope of Services:**

We have separated the scope of services for geotechnical services between MnDOT based work and non-MnDOT based work (located west of the proposed new TH 95 Interchange).

MnDOT's geotechnical and pavement manuals specify boring details (spacing, depth and location), laboratory testing and necessary reports for work within their right of way. We have followed the MnDOT requirements in the scope of work outlined below. For non-MnDOT required work, there is usually more flexibility with the owning agency to develop a geotechnical scope of work. The proposed scope of work on non-MnDOT right of way is based on our discussions.

***MnDOT Based Geotechnical Work***

The following is a summary of our proposed geotechnical exploration services for the MnDOT

550 Cleveland Avenue North | St. Paul, MN 55114

home 651-659-9001 | Toll Free 800-972-6364 | Fax 651-659-1379 | [www.amengtest.com](http://www.amengtest.com) | AA/EEO

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based work:

- Six foundation borings for the TH94 bridges to an estimated depth of 100 feet.
- Three foundation borings for the TH610 bridge to an estimated depth of 100 feet.
- Retaining walls borings adjacent to the TH610 bridge have not been included as separate borings; embankment and bridge borings are already proposed at these locations that will cover necessary depth and testing requirements.
- 62 borings for the westbound TH610 off-ramp (only borings north of TH610).
- 84 borings for the ramps between TH94 and TH610 that include:
  - Westbound TH610 off ramp
  - On ramp for TH610 eastbound
  - Off ramp from TH94 Westbound
- Five borings for retention ponds; two of which will be for vibrating wire piezometers. Vibrating wire piezometers will be logged using Geokon LC-2X4 loggers combined with barometric piezometers to measure groundwater levels and fluctuation. We will take assume hourly readings and data collection by AET technicians will occur once per month.

The following is a summary of laboratory testing that we believe is required by MnDOT for the scope of work discussed above:

- 6 sieve analysis tests
- 6 sieve/hydrometer tests
- 444 unconfined compressive strength tests
- 6 consolidation tests
- 6 Atterberg limits tests
- 6 standard proctor tests
- 6 R-value tests
- 10 organic content tests

We will initiate routine laboratory testing by reviewing each recovered soil sample to assess the major and minor soil components while also noting the color, degree of saturation, and lenses or seams in the samples. We will test all samples for moisture content.

On completion of testing, we will visually/manually classify each sample based on texture and plasticity in accordance with the AASHTO system and MnDOT Triangular Textural System and prepare the boring logs.

*LLCA (Life-Cycle Cost Analysis)*

We have not budgeted for LLCA work since our work is not on mainline paving.

Following the field and laboratory services, we will prepare and submit reports for MnDOT. The reports will include logs of the test borings, the laboratory test results, a review of the engineering properties of the on-site soils and our geotechnical engineering opinions and recommendations regarding the following:

- Grading procedures to prepare the roadway alignments for embankment and pavement

support.

- Hydrologic soil group and estimated soil infiltration rates based on the soil types encountered in the applicable boring, the laboratory index testing performed, the Minnesota Stormwater Manual, and our slug testing.
- Estimates of time-rate of consolidation and total settlement for the proposed roadway embankments.
- Foundation types and depths, including allowable soil bearing capacity and estimates of foundation settlement for proposed retaining walls and bridges (if requested).
- Lateral soil earth pressure estimates for the design of earth retaining structures.
- Concrete pavement designs if desired and recommended R-value design for bituminous pavement design.
- Comments on other items which may affect final performance or constructability, such as frost heave, and drainage considerations.

#### ***Non-MnDOT Based Geotechnical Services***

The following scope is based on our discussions with SRF and is consistent with what other Cities and Counties have utilized on new roadway projects.

- 24 roadway borings to depths of 5 or 9 feet each
- 3 roadway borings in the larger fill area near TH94
- 10 borings in two anticipated swamp deposit areas to estimated depths of 15 to 30 feet
- 5 borings in existing roadway areas
- 3 borings for retention ponds, each of which will have vibrating wire piezometers installed upon boring completion. An additional piezometer will be installed above ground at the Robin pond location; this piezometer is necessary to remove atmospheric fluctuations. Vibrating wire piezometers will be logged using Geokon LC-2X4 loggers combined with barometric piezometers to measure groundwater levels and fluctuation. We will assume hourly readings. Data collection by AET technicians will occur once per month.

The following is a summary of laboratory testing that we believe is required by MnDOT for the scope of work discussed above:

- 3 sieve analysis tests
- 2 sieve/hydrometer tests
- 42 unconfined compressive strength tests
- 3 consolidation tests
- 3 Atterberg limits tests
- 3 standard proctor tests
- 3 R-value tests
- 10 organic content tests

We will initiate routine laboratory testing by reviewing each recovered soil sample to assess the major and minor soil components while also noting the color, degree of saturation, and lenses or

seams in the samples. We will test all samples for moisture content.

On completion of testing, we will visually/manually classify each sample based on texture and plasticity in accordance with the AASHTO system and MnDOT Triangular Textural System and prepare the boring logs.

Following the field and laboratory services, we will prepare and submit reports for MnDOT. The reports will include logs of the test borings, the laboratory test results, a review of the engineering properties of the on-site soils and our geotechnical engineering opinions and recommendations regarding the following:

- Grading procedures to prepare the roadway alignments for embankment and pavement support.
- Hydrologic soil group and estimated soil infiltration rates based on the soil types encountered in the applicable boring, the laboratory index testing performed, the Minnesota Stormwater Manual, and our slug testing.
- Estimates of time-rate of consolidation and total settlement for the proposed roadway embankments where applicable (such as the swamp deposit area)
- Recommended R-value design for bituminous pavement design.
- Monthly reports of piezometer readings for up to 1 year after installation.
- It is our understanding no structures are included in the non-MnDOT based scope of work.

### ***Utility Locating***

Before we drill, we will contact Gopher State One Call to locate public underground utilities. Gopher State One Call does not currently charge for this service, but they will not locate private underground utilities or structures. Examples of private utilities include, but are not limited to, propane lines, sewer laterals, sprinkler systems, site lighting, and electric and data lines between buildings. **Gopher State One Call states that the property owner is responsible for locating all private underground utilities and structures.** We request that you please coordinate this activity with the owner and AET prior to AET beginning any subsurface exploration. Also, please provide us with any maps, plans and records showing the location of all private utilities and structures.

We can provide you with names and contact information for private utility locators. These companies usually charge a fee for their services. Also, please note that private locators cannot guarantee that all private utilities will be located. For the private locator to be accurate and effective, the property owner must provide maps, plans and records showing the location of all private utilities and structures. The property owner must also provide a knowledgeable site representative to meet with the private locator and AET personnel.

AET shall be entitled to rely upon the accuracy of all location information supplied by any source. We will not be responsible for any damages to underground utilities or structures not located or incorrectly identified by the property owner, any maps, plans or records, or public or private utility locator providers.

### **Minnesota Department of Health Fees**

Effective July 1, 2019, the Minnesota Department of Health (MDH) has changed the borehole sealing and notification requirements. For sites where borings are drilled to a depth of 15 feet or deeper, all licensed drilling companies are required by law to grout the boreholes upon completion. For borings 25 feet in depth or deeper all licensed drilling companies must submit written notification to the MDH prior to drilling along with a fee of \$75. Projects that span multiple properties will require multiple notifications. The MDH also requires that a Sealing Record be submitted to the MDH, with a copy to you, after the borings are completed. The above fee estimate for our geotechnical services includes the MDH fee for the proposed scope of drilling; however, because final boring depths can change, for example, due to possible unanticipated poor soil conditions, the final MDH fee (including an administrative charge of \$65 per notification) will be added, if necessary, to our final invoice to you.

### **Fees**

Project fees are broken out separately for environmental and geotechnical costs, as indicated below. SRF also requested that time be added for attendance at three meetings.

### **MnDOT Based Geotechnical Costs**

• Soil Borings, Staking and Traffic Control	\$150,817.00
• Laboratory Testing	\$ 58,480.00
• Geotechnical Analysis and Reports	\$ 98,075.00
• Vibrating Wire Piezometer Installation and Monitoring	<u>\$ 8,572.00</u>
<b>MnDOT Costs</b>	<b>\$315,944.00</b>

### **Non-MnDOT Based Geotechnical Costs**

• Soil Borings, Staking, and Traffic Control	\$ 36,283.00
• Laboratory Testing	\$ 9,890.00
• Geotechnical Analysis and Reports	\$ 24,194.00
• Vibrating Wire Piezometer Installation and Monitoring	<u>\$ 11,679.00</u>
<b>Non-MnDOT Costs</b>	<b>\$ 82,046.00</b>

<b>TOTAL ESTIMATE</b>	<b>\$397,990.00</b>
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SRF Consulting Group  
TH 610  
AET Proposal No. 27-20075  
January 22, 2021  
Page 6 of 8

**Acceptance**

We presume our services will be performed under our Master Services Agreement with SRF and a contract under that agreement will be prepared. If you have questions regarding this proposal addendum, please contact us.

Sincerely,  
**American Engineering Testing, Inc.**



Shawn Dedeker, PG  
Staff Engineering Geologist

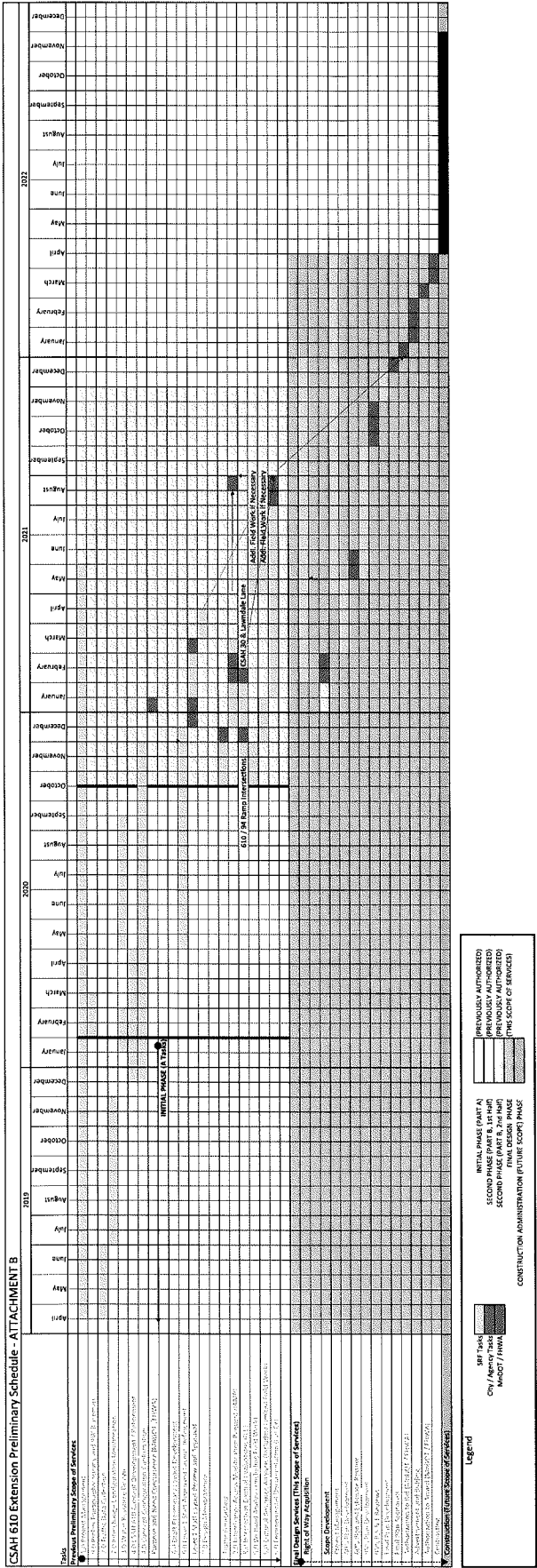


Matthew P. Ruble, PE  
Principal Engineer/Vice President

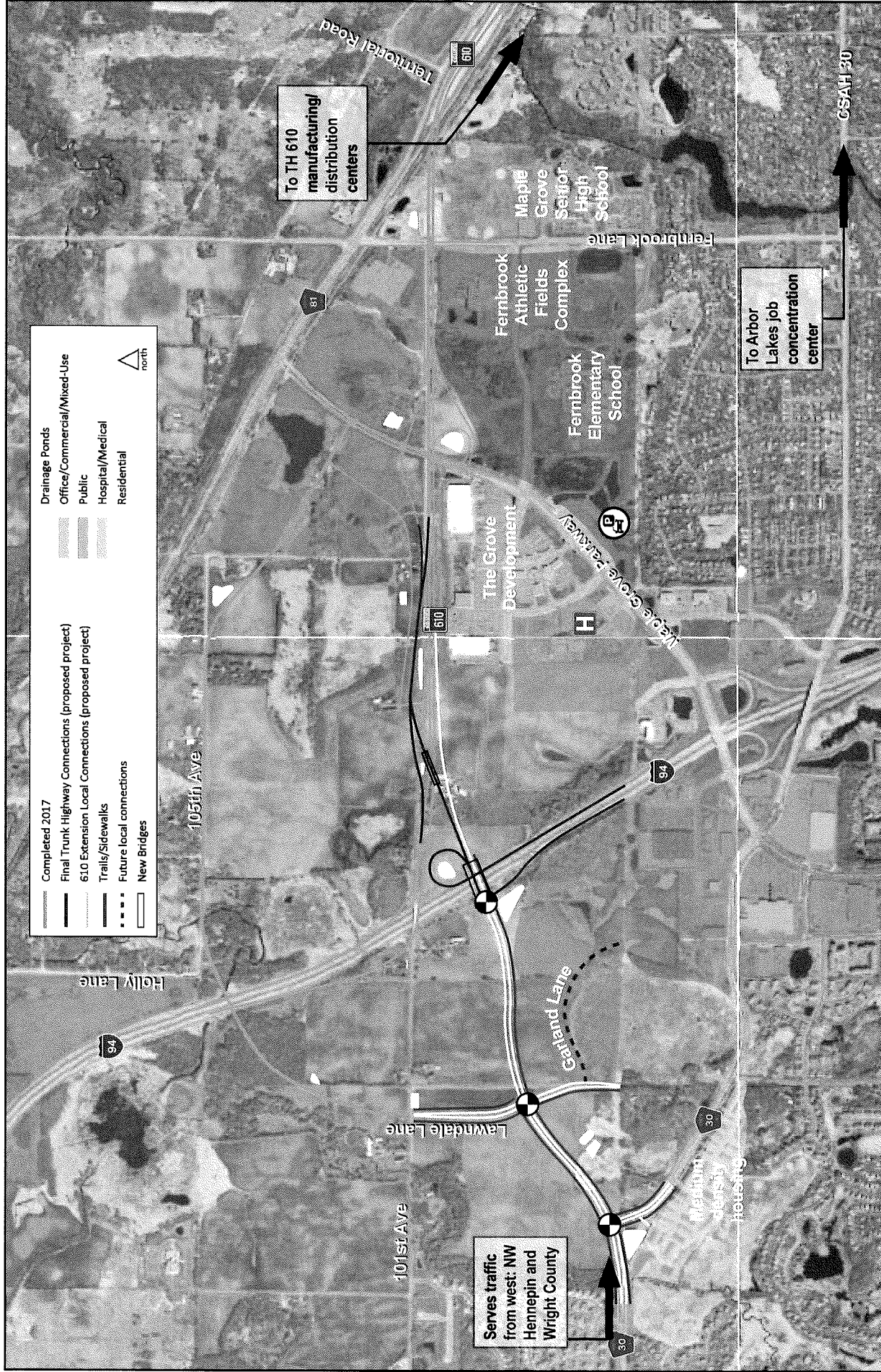
Enclosures:    Geotechnical MnDOT Based Geotechnical Costs  
                    Geotechnical Non-MnDOT Based Geotechnical Costs  
                    Geotechnical Boring List

Separate Attachment:  
                    Boring Plan Google Earth File

Attachment B



# Attachment C





**CITY OF MAPLE GROVE  
PLANNING COMMISSION AGENDA  
APRIL 26, 2021  
7:00 P.M.**



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Due to the COVID-19 pandemic, the Maple Grove Planning Commission is transitioning to an online format for planning commission meetings. Appropriate City of Maple Grove staff and the City Attorney will also be attending online.

For items with a public hearing, comments may be submitted online at <https://forms.maplegrovern.gov/Forms/public-comment> and will be read during the public hearing.

If you desire to speak at the meeting contact Community & Economic Development at 763-494-6040.

**1. OPENING BUSINESS**

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call

**2. ADDITIONS OR DELETIONS TO AGENDA**

Any Commissioner who wishes to delete item(s) from the Consent Agenda or add item(s) to the agenda shall move that at this time.

**3. CONSENT ITEMS** – All matters listed under Consent Items are considered to be routine by the Planning Commission and will be enacted by one motion and in the form listed below. There may be an explanation, but no separate discussion on these items. If discussion is desired, that item will be removed from the Consent Items and will be considered separately.

- A. Minutes - Regular Meeting – April 12, 2021

**4. CONSIDERATION OF ITEMS PULLED FROM THE AGENDA**

**5. UPDATE ON CITY COUNCIL MEETING**

**6. OLD BUSINESS**

**No items to present.**

**7. NEW BUSINESS**

- A. **Abor Lakes Business Park Phase 2**  
Endeavor Development  
Zachary Lane North and Fountains Drive North, Outlot B  
PUD development stage plan and final plat for the purpose of constructing a 221,549 square foot building with associated parking and loading docks.  
Received 03/29/2021, Brett Angell.
- B. **The Grove 15500 Grove Drive North**

Affordable Fitness Group 2, LLC  
PUD development stage plan and final plat for the purpose of constructing a  
30,000 square foot fitness center.  
Received 03/29/2021, Jesse Corrow

- PH    C.    **Park 81 South and East**  
Scannell Properties 481 and Scannell Properties #487, LLC  
10520 89<sup>th</sup> Avenue North and 10440 89<sup>th</sup> Avenue North  
I-PUD concept stage plan amendment and development stage plan to allow for  
trailer and additional car parking, requesting setback changes and to add a  
patio area.  
Received 03/29/2021, Peter Vickerman.

8.    **ADJOURNMENT** – All items acted on by the Planning Commission will be  
forwarded to the City Council for action at their next regularly scheduled meeting.

**DRAFT** – MAPLE GROVE  
PLANNING COMMISSION

April 12, 2021

CALL TO ORDER

A meeting of the Maple Grove Planning Commission was held at 7:00 p.m. on April 12, 2021 at the Maple Grove City Hall, Hennepin County, Minnesota. Chair Lamothe called the meeting to order at 7:00 p.m.

PLEDGE OF  
ALLEGIANCE

ROLL CALL

Planning Commission members present were Chair Craig Lamothe, Chris Ayika, Lorie Klein, Susan Lindeman, Chuck Lenthe, Michael Ostaffe, and Joe Piket. Present also were Karen Jaeger, City Council Liaison; Joe Hogeboom, Community and Economic Development Director; and Scott Landsman, City Attorney.

ITEMS TO BE  
REMOVED FROM  
THE AGENDA

None.

CONSENT ITEMS

The following Consent Items were presented for the Commission's approval:

**MINUTES**

A. Regular Meeting – March 29, 2021

**Motion by Commissioner Ayika, seconded by Commissioner Klein, to approve the Consent Items as presented. Upon call of the motion by Chair Lamothe, there were seven ayes and no nays. Motion carried.**

CONSIDERATION  
OF ITEMS PULLED  
FROM CONSENT  
AGENDA

None.

REVIEW OF THE  
CITY COUNCIL  
MINUTES FROM

Mr. Hogeboom reviewed with the Commission what items the City Council approved that was given direction at the Planning Commission level. It was noted the Council would be holding a worksession meeting next Monday to continue discussion the

THEIR REGULAR  
MEETING OF  
APRIL 5, 2021

**OLD BUSINESS**

PUBLIC HEARING

SHAKE SHACK

PRISA ARBOR  
LAKES, LLC

12459 ELM CREEK  
BOULEVARD  
NORTH

PLANNED UNIT  
DEVELOPMENT  
DEVELOPMENT  
STAGE PLAN  
AMENDMENT TO  
CONSTRUCT A  
STAND-ALONE  
3,200 SQUARE  
FOOT  
RESTAURANT TO  
INCLUDE A  
DRIVE-THROUGH  
IN THE  
NORTHWEST  
QUADRANT OF  
THE PROPERTY

recently completed housing study as well as the Main Street revitalization project

**Motion by Commissioner Lindeman, seconded by Commissioner Lenthe, to remove this item from the table. Upon call of the motion by Chair Lamothe, there were seven ayes and no nays. Motion carried.**

Mr. Hogeboom stated the Shoppes at Arbor Lakes is seeking an amendment to its concept plan to allow a drive-through to be constructed as part of the planned Shake Shack restaurant. Shake Shack, which was initially approved in March, 2020, would be a stand-alone restaurant building located between the shopping center's primary access drive onto Elm Creek Boulevard and Red Lobster. On March 29, 2021, the Planning Commission held a public hearing for the proposal. The proposal was ultimately tabled, so that the applicant could consider the following:

- Enhanced pedestrian connections to the existing shopping center.
- Vehicle stacking planning for peak drive-through traffic.
- Possible orientation shift of the building, to allow for the preservation of parking spaces nearest to the existing Potbelly's location,

Mr. Hogeboom explained per the Planning Commission's request, the applicant has provided an alternate site layout plan. However, the applicant still wishes to move forward with the original plan, enhanced with pedestrian ramps and an additional ADA accessible parking space to serve Potbelly's. The original plan will preserve parking availability for existing businesses, while keeping the building as close as possible to the existing shopping center. This will allow synergy between the new restaurant and the main portion of the shopping center, and create the smallest amount of site disturbance. Staff feels that after reviewing alternative layouts, the original layout, with the modifications mentioned, is the most efficient and productive option.

**STAFF RECOMMENDATION:**

**Motion** to recommend that the City Council direct the City Attorney to draft a Planned Unit Development Agreement and a Resolution approving the Shake Shack PUD non-residential development stage plan amendment, subject to:

1. The applicant addressing to the satisfaction of the City any remaining applicable comments contained in the memorandums from:
  - a. The Engineering Department dated February 24, 2021 and March 24, 2021
  - b. The Fire Department dated March 8, 2021

The applicant shall acknowledge that Park Dedication requirements are based on staff review and recommendation to the Park and Recreation Board and their subsequent board action. Board meetings are held on the third Thursday of each month.

The applicant was at the meeting to answer questions.

Michael Landstad, General Manager of the Shoppes at Arbor Lakes, thanked the Commission for reconsidering this item. He explained he heard the concerns that were voiced and noted two alternative plans were considered between the shopping center owner and the Shake Shack. He discussed how it was so important for the Shake Shack to have a drive through. He commented on how the proposed location of the building was optimal for parking and vehicular traffic flow purposes. He requested the Commission support the original plan with the noted pedestrian improvements.

Jeff Westendorf, Westwood Engineering, reviewed two different site plans with the Commission and described how overflow stacking would occur in the parking lot. He explained the building would be disconnected from the shopping center if pushed to the north. He reported the original plan was the best option as it offered the most stacking and parking for the site. He commented further on the proposed sidewalk connections and pedestrian ramps that would be installed.

Commissioner Piket asked how parking would be managed if the drive through were to overflow into the parking lot. Mr. Westendorf stated he did not see this occurring. He anticipated if the drive through were to get backed up, patrons could elect to go into the restaurant for service.

Commissioner Lindeman asked if one normal stall would be lost for the ADA parking stall. Mr. Westendorf reported this was the case.

Commissioner Lindeman discussed how the Potbelly parking would be impacted by the Shake Shack. She questioned if Potbelly supported the proposed project. Mr. Landstad reported this project has been in the works for the past year. He explained there was 265 parking stalls available on the northwest surface lot for Potbelly patrons.

Commissioner Piket reiterated that when this request was originally approved, the Shake Shack did not include a drive through. He commented further on how the drive through had impacted the site.

Commissioner Ostaffe asked if there had been any thought given to putting in a marked walkway between two of the islands to show people where to be crossing. Mr. Landstad stated he supported this suggestion.

Commissioner Lenthe commented he could only support this request if the building were rotated and relocated. He stated he wanted the parking protected for Potbelly and he wanted to provide better access to the drive through lanes. He understood this would require negotiations with other businesses, but he believed this was the best option for the site.

Chair Lamothe concurred with Commission Lenthe. He explained if not for the reciprocal agreement with Red Lobster, the Commission would be looking at a different building layout. He indicated he supported the original project without a drive through. He stated he wasn't thrilled about the addition of the drive through and could only support it if the building were reoriented. He encouraged the property owner to renegotiated with Red Lobster in order to find a better design for this site.

Commissioner Ayika stated at the last Planning Commission meeting the Commission requested further information regarding the agreement the Shoppes had with Red Lobster. He indicated the Commission has not been provided an update on this topic. He questioned what the concerns or constraints were in working with Red Lobster. Mr. Landstad stated this would involve engaging with an attorney to speak with Red Lobster ownership. Internally, his conversation has been regarding why Red Lobster would want to

have their parking reduced. He stated there was no motivation to have this occur. He reiterated this would be the second drive through the Shake Shack would have in the country.

Further discussion ensued regarding the parking situation for Potbelly and the Shake Shack.

Commissioner Ostaffe explained Potbelly had not voiced any concerns regarding the parking situation to date.

Chair Lamothe discussed how Portillo's impacted the surrounding uses when it moved into Maple Grove. Mr. Landstad explained an adjacent business owner originally had concerns with Portillo's but has since taken back his concerns and believed the Portillo's was a nice addition to the area. He reported he has not heard from any representatives from Potbelly expressing concerns about parking.

Commissioner Piket stated while he likes the other orientation, he would be supporting the request of the applicant. He discussed the additional costs that would have to be incurred in order to reorient the building.

Commissioner Lindeman agreed with Commissioner Piket. She indicated the Shoppes at Arbor Lake is saying this is the best orientation for the shopping center. While she had concerns regarding traffic, she anticipated this issue would resolve itself over time.

Commissioner Ostaffe stated the issue regarding parking has been mitigated by coming from 60 to 170 internal spots. He appreciated the Shoppes at Arbor Lakes efforts to address the parking concerns.

Chair Lamothe thanked the applicant for addressing the pedestrian concerns.

Commissioner Ayika asked if a public hearing had to be held on this matter.

Chair Lamothe stated the public hearing was closed at the last meeting. He explained he could open the meeting for public comments at this time. Mr. Hogeboom reported there were no members of the public that wished to speak at this time.

**Motion by Commissioner Lindeman, seconded by**

**Commissioner Piket, to recommend that the City Council direct the City Attorney to draft a Planned Unit Development Agreement and a Resolution approving the Shake Shack PUD non-residential development stage plan amendment, subject to:**

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Commissioner Ayika recommended the Shoppes at Arbor Lakes redo the pedestrian crossing markings.

**Upon call of the motion by Chair Lamothe, there were five ayes and two nays (Chair Lamothe and Commissioner Lenthe opposed). Motion carried.**

## **NEW BUSINESS**

No items to present.

## **DISCUSSION ITEMS**

There were no discussion items.

## **ADJOURNMENT**

**Motion by Commissioner Piket, seconded by Commissioner Lenthe, to adjourn the Planning Commission meeting. Upon call of the motion by Chair Lamothe, there were seven ayes and no nays. Motion carried.**

Chair Lamothe adjourned the meeting at 7:44 p.m. to the next regularly scheduled meeting of the Planning Commission scheduled for April 26, 2021.